



PROJECT:

William A. Welch Elementary School
Roof Replacement

MSBA Green Repair Program
Massachusetts School Building Authority

William A. Welch Elementary School
50 Swampscott Ave.
Peabody, MA 01960

AWARDING AUTHORITY:
Peabody Public Schools
Mayor Edward A. Bettencourt
Dr. Herbert Levine
Superintendent of Schools
21 Johnson Street
Peabody, MA 01960

STRUCTURAL ENGINEER:
Roome & Guarracino, LLC
48 Grove Street, Suite 301
Somerville, MA 02144
Tel: 617/628-1700 Fax:

ENVIRONMENTAL ENGINEER:
Covino Environmental Associates Inc.
300 Wildwood Avenue
Woburn, MA 01801
Tel: 781/933-2555 Fax: 781/932-9402

OWNER'S PROJECT MANAGER:
Daedalus Projects, Inc.
112 South Street,
Boston, MA
Tel: 617/ 451-2717

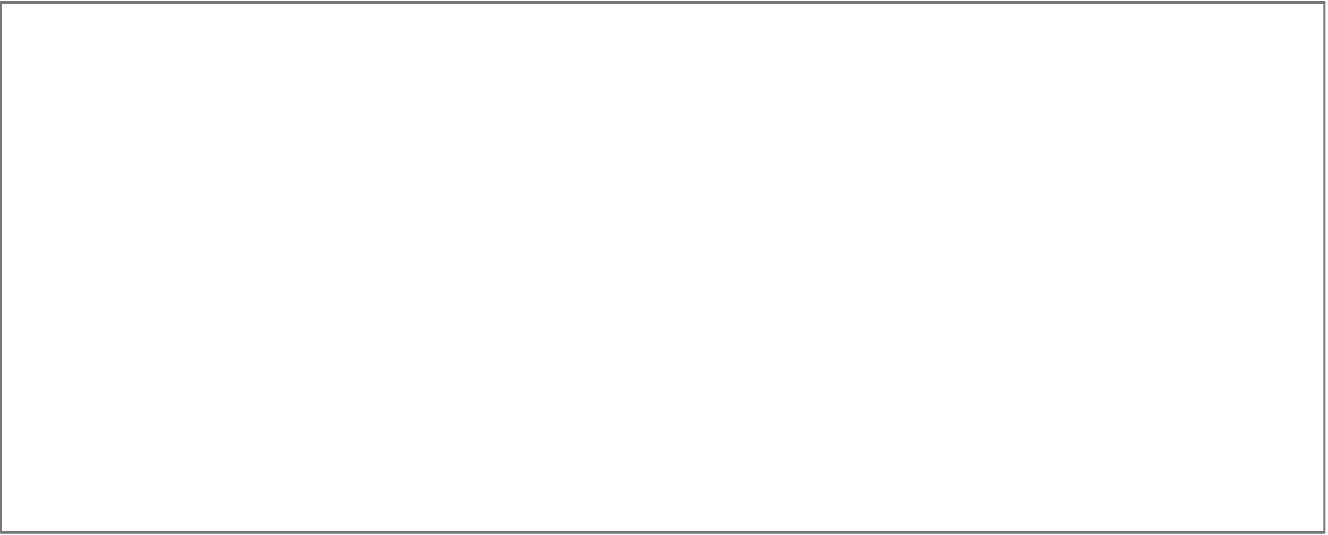
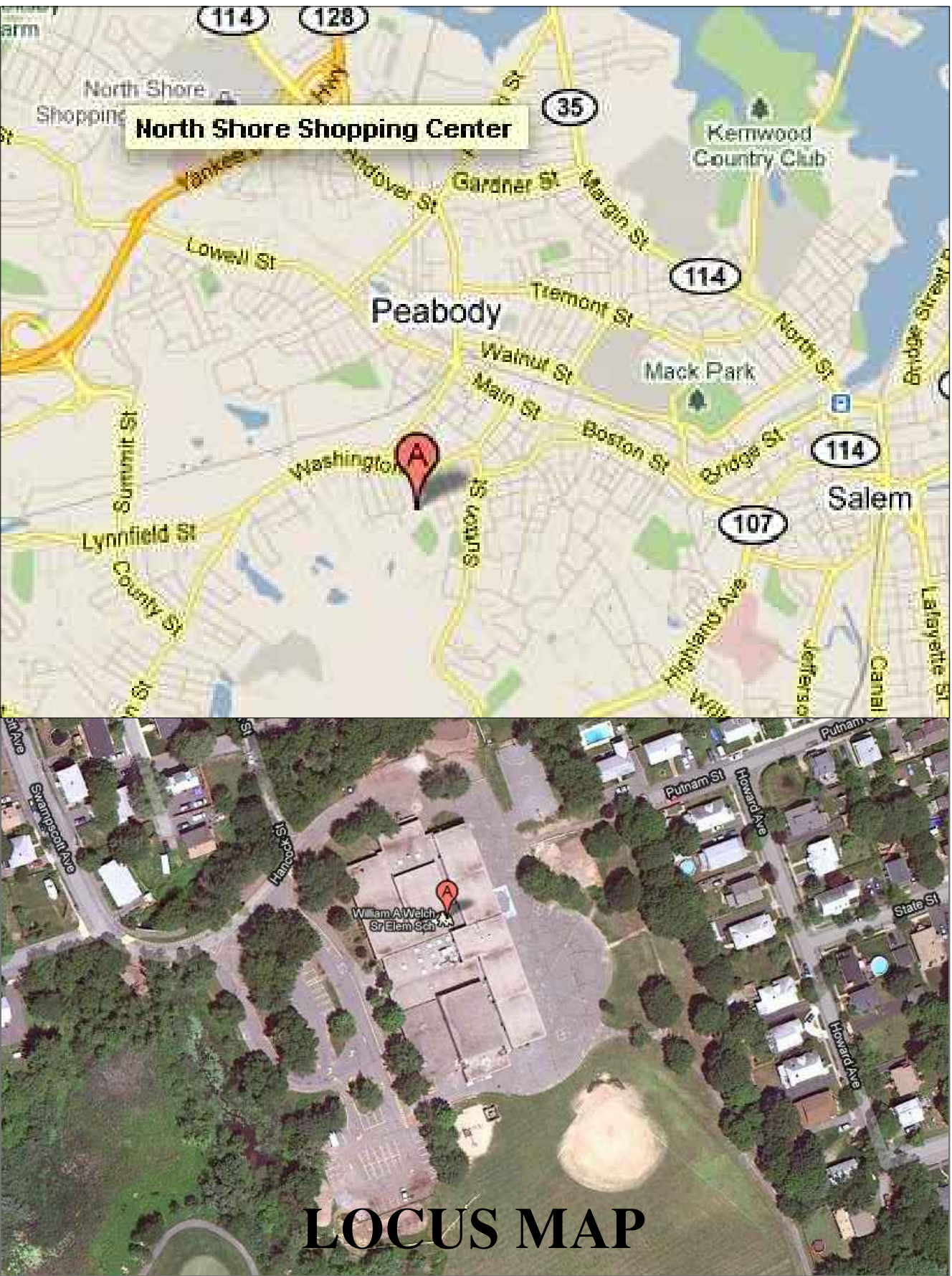
MECHANICAL ENGINEER:
MacRitchie Engineering
197 Quincy Avenue
Braintree, MA 02184
Tel: 781/848-4464

ELECTRICAL ENGINEER:
Art Engineering
76 Webster Street,
Worcester, MA 01603
Tel: 508/ 797-0333

ARCHITECT:
LPBA / Architects, Inc.
214 Lincoln Street, Suite 305
Boston, MA 02134
Tel: 617/782-0255 Fax: 617/782-0277

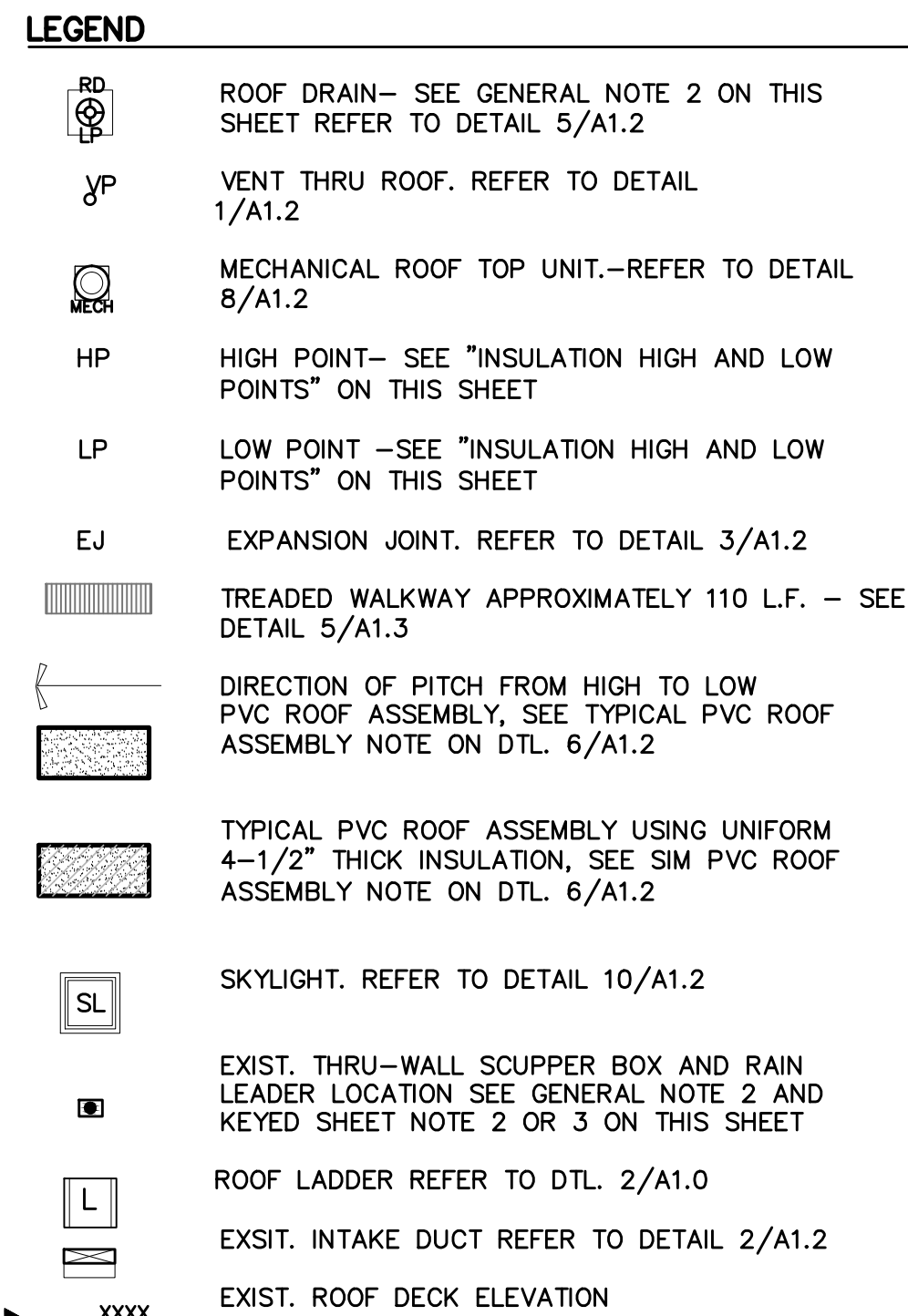
ARCHITECTURAL SPECIFICATIONS:
Spec Edit, Inc.
57 Nottingham Drive
Pittsfield, MA 01201
Tel: 413/442-0515 Fax: 413/442-0515

COST ESTIMATOR:
Talevi and Haesche, LLC.
21 Old Warren Road
West Brookfield, MA 01585
Tel: 508/867-3222



APRIL 09, 2012

T-1



- ## GENERAL NOTES (TYPICAL)
1. ALL DIMENSIONS, CONDITIONS AND INFORMATION SHOWN ARE FOR PROPOSED WORK. VERIFY ALL DIMENSIONS IN FIELD. ANY EXISTING ELEMENTS CALLED OUT IN THE LEGEND BUT NOT IDENTIFIED ON THE PLAN WILL ALSO BE SUBJECT TO PROPOSED WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLAN.
 2. THE ROOFING CONTRACTOR SHALL SUBMIT TO THE ARCHITECT WRITTEN CONFIRMATION THAT ALL ROOF DRAIN LEADERS, HAVE BEEN FIELD TESTED AND HAVE BEEN DETERMINED TO BE OPEN AND DRAINING NORMALLY PRIOR TO THE START OF WORK. IF PROBLEMS ARE FOUND CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL PROVIDE FOR PATCHING AND MATCHING OF EXISTING INTERIOR FINISH CEILING WHERE WORK ON ROOF DRAINS REQUIRES ACCESS FROM BELOW.
 3. FASTENER PULL OUT TESTS MUST BE PERFORMED BY ROOFING CONTRACTOR ON THE ROOF DECK WITH APPROVED FASTENERS TO VERIFY THE INTEGRITY OF THE DECK AND TO ESTABLISH PITCHING TO MEET MOST RECENT REQUIREMENTS OF MA STATE BUILDING CODE. ALL WOOD NAILERS AND ROOF EDGE BLOCKING SHALL BE ANCHORED TO THE EXISTING SUBSTRATE SUCH AS TO RESIST A FORCE OF 300lbs per L.F. IN ANY DIRECTION.
 4. PRIOR TO INSTALLATION OF ROOFING SYSTEM THE ARCHITECT SHALL EXAMINE AND APPROVE CONDITION OF EXISTING DECKING. CONTRACTOR TO NOTIFY ARCHITECT WHEN READY.
 5. UNLESS OTHERWISE NOTED ON PLAN, PROVIDE TAPERED INSULATION. ACHIEVE MAX POSSIBLE PITCH TO DRAIN INDICATED WHILE CONFORMING TO MIN DIMENSIONAL REQUIREMENTS SHOWN ON DETAILS AND PLANS @ EXISTING SLOPES AND THRU-WALL FLASHING. TAPERED INSULATION DESIGN MAY REQUIRE ALTERNATIONS DUE TO UNFORESEEN EXISTING ROOF CONDITIONS.
 6. PROVIDE CONTINUOUS VAPOR BARRIER OVER ENTIRE AREA. OF ROOF TURN UP ENDS AND SEAL. TYPICAL.
 5. CONTRACTOR SHALL REINSTALL ALL ITEMS THAT WERE INVENTORIED AND TEMPORARILY REMOVED BEFORE COMMENCEMENT OF WORK INCLUDING ELECTRICAL DEVICES I.E. CAMERAS, LOUDSPEAKERS, FLOOD LIGHT, & RELATED WIRING & CONDUITS.
 7. CONTRACTOR SHALL INVENTORY ALL EXISTING ELECTRONIC DEVICES INCLUDING CAMERAS, LOUDSPEAKERS, FLOOD LIGHTING AND RELATED WIRING AND CONDUITS PRIOR TO COMMENCEMENT OF WORK. ELEMENTS SHALL BE STORED IN LOCATION AS DIRECTED BY OWNER AND REINSTALLED IN THE WORK.
 8. CONTRACTOR SHALL CARRY ALLOWANCE FOR 20 S.F. OF METAL DECKING FOR REPAIRS TO EXISTING DECK. ALL METAL DECKING SHALL MATCH THE EXISTING SIZE, SHAPE, GAUGE AND

MATERIAL.

CONTRACTOR SHALL TAKE CARE TO MAINTAIN EXISTING FLASHING @ MASONRY WALL & WINDOW SILLS FOR REUSE.

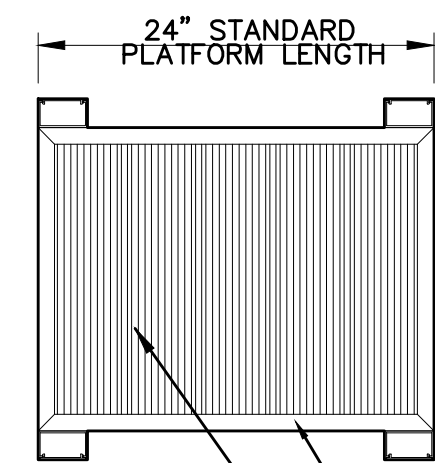
3. CONTRACTOR SHALL PROVIDE CONTINUOUS SEPARATION AT ALL DISSIMILAR METALS W/ APPROVED PEEL AND STICK MEMBRANE.

4. SCOPE INCLUDES RAISING OF EXIST. THROUGH-WALL FLASHING AS INDICATED, AND BRICK VENEER REPAIR. SEE SHEET D1.0a, AND A1.0a FOR MASONRY RELATED WORK AT ALTERNATE NO. ONE.

5. BUILDING ELEVATIONS ARE PROVIDED ON SHEET A2.0 TO CLARIFY EXTENT OF DETAIL 6/A1.1 (EXISTING ASBESTOS FASCIA PANELS) AFFECTING WORK AT THE ROOF EDGE.

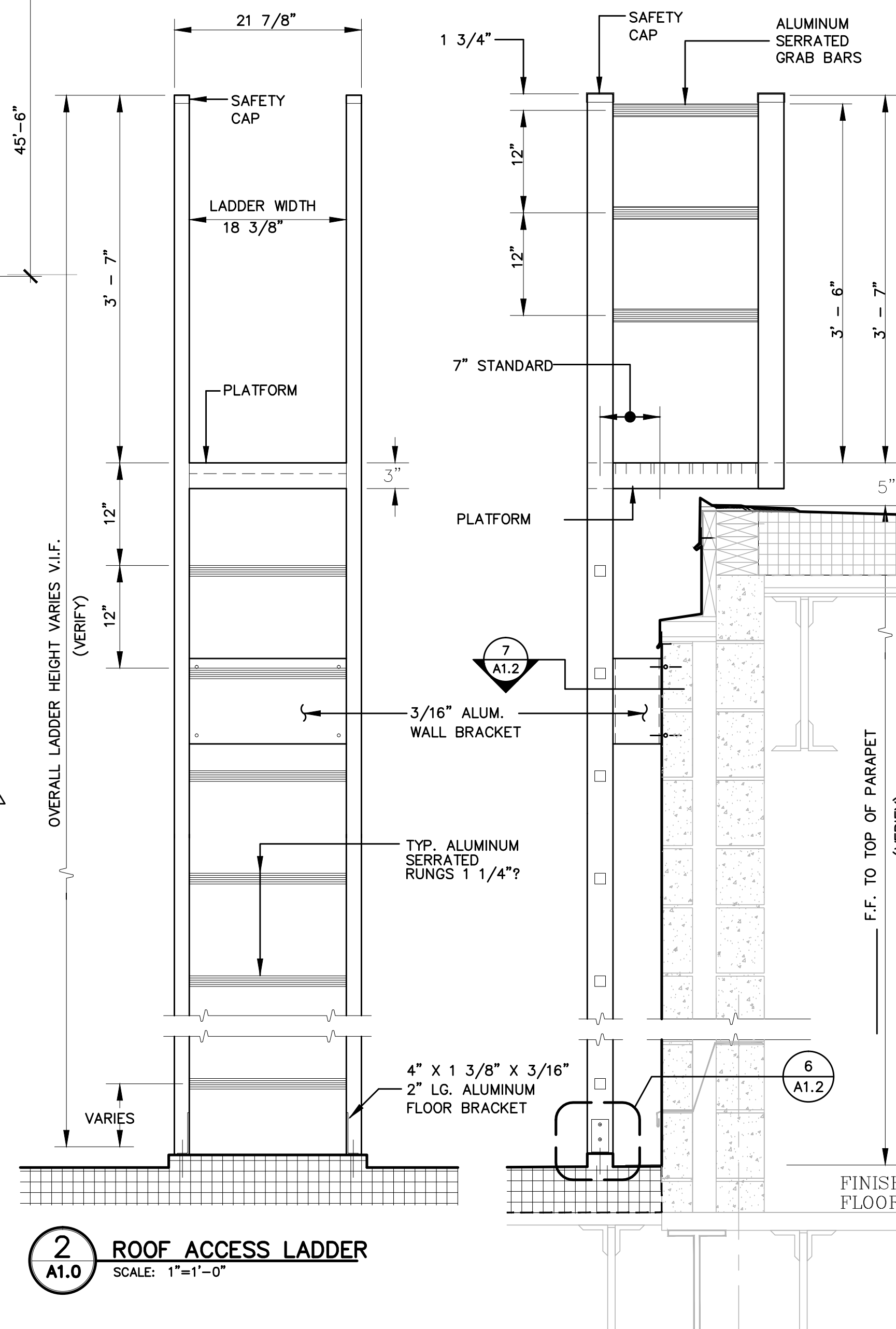
KEYED SHEET NOTES

1. PVC ROOFING ASSEMBLY. SEE TYPICAL PVC ROOF ASSEMBLY NOTE ON DETAIL 6/A1.2.
2. PROVIDE DOWNSPOUT @ EXIST. CORE PIPE PENETRATION THRU WALL. SEE DTL. 4/A1.4. ON ALL SPLASH BLOCKS PROVIDE SECTION OF WALKWAY PAD BENEATH, SEE DTL. 5/A1.3.
3. SCUPPER BOX AND DOWNSPOUTS, PROVIDE CONCRETE SPLASH BLOCK INSTALLED OVER A SECTION OF WALKWAY PAD REFER TO DTL. 5/A1.1.
4. REINSTALL EXIST. ROOF LIGHT CONDUITS AND BRACKETS TO ILLUMINATE BUILDING SIGNAGE TYPICAL.
5. PROVIDE ROOF ACCESS HATCH TO MATCH EXISTING SIZE, SHAPE, DOOR SWING, AND ORIENTATION OF EXIST. REFER TO DETAIL 9/A1.2.
6. MECHANICAL ROOFTOP UNIT AND ELEVATED SUPPORTS-- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. REFER TO DTL 4/A1.2 FOR PITCH POCKETS AT SUPPORT POSTS AND SIM DTL 8/A1.2 FOR CURBS AT EXIST. DUCT WORK.
7. MAINTAIN 4 1/2" MIN THICKNESS OF INSULATION ALONG LENGTH OF ENTIRE CMU WALL/ WINDOW SILL.
8. LOCATION OF WALKWAY PADS SHOWN ARE APPROXIMATE. LOCATE WALKWAY PAD ALONG GENERAL PATH SHOWN AND ADJUST LOCATION AS NEEDED TO AVOID ROOF ACCESSORIES.
9. REMOVE EXISTING SEALANT AT CRACKS IN BRICK VENEER WALL AND REPLACE WITH NEW. COLOR TO MATCH EXIST. (VIF).



1- $\frac{1}{4}$ "X4 $\frac{1}{8}$ "
SERRATED TREAD
ALLOY
6063-T5

1"X3"X $\frac{1}{8}$ " CHANNEL
FRAME ALLOY
6063-T5



INSULATION HIGH AND LOW POINTS

AT ROOF DECK "A" AND "E" UNLESS OTHERWISE NOTED ON PLAN
(SEE KEYED NOTE 7)

LOW POINT= $4\frac{1}{2}$ " ABOVE LOWEST POINT OF EXIST. PITCHED DECK
HIGH POINT= $8-\frac{3}{4}$ " ABOVE HIGHEST POINT OF EXIST. PITCHED DECK

* HP AT AREAS INDICATED TO HAVE CONT. 4½" INSULATION (REFLECTS DIRECTION OF EXISTING PITCHED DECKING. (VIF)

* REFER TO ORIGINAL STRUCTURAL DRAWINGS PROVIDED AT THE END OF THE SET FOR ELEVATION OF HIGH AND LOW POINTS OF EXIST PITCHED ROOF DECKING (VIF)

LPBA
Architects, Inc.

Architecture
Planning
Interiors
Construction-
Management

214 Lincoln Street
Unit 305
Boston, MA 02134

Tel.: 617.782.0255
Fax: 617.782.0277

Email: info@lpba.com
Web Site: www.lpba.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

PEABODY PUBLIC SCHOOLS
21 JOHNSON STREET
PEABODY, MA 01960

PROJECT:

WILLIAM A. WELCH
ELEMENTARY SCHOOL
WILLIAM A. WELCH SR.
50 SWAMPSCOTT AVE.
PEABODY, MA 01960

DRAWING TITLE:

ROOF PLAN AND DETAILS

DRAWN BY: L.D.

CHECKED BY: E.P

SCALE: AS NOTED

DATE: APRIL 09, 2012

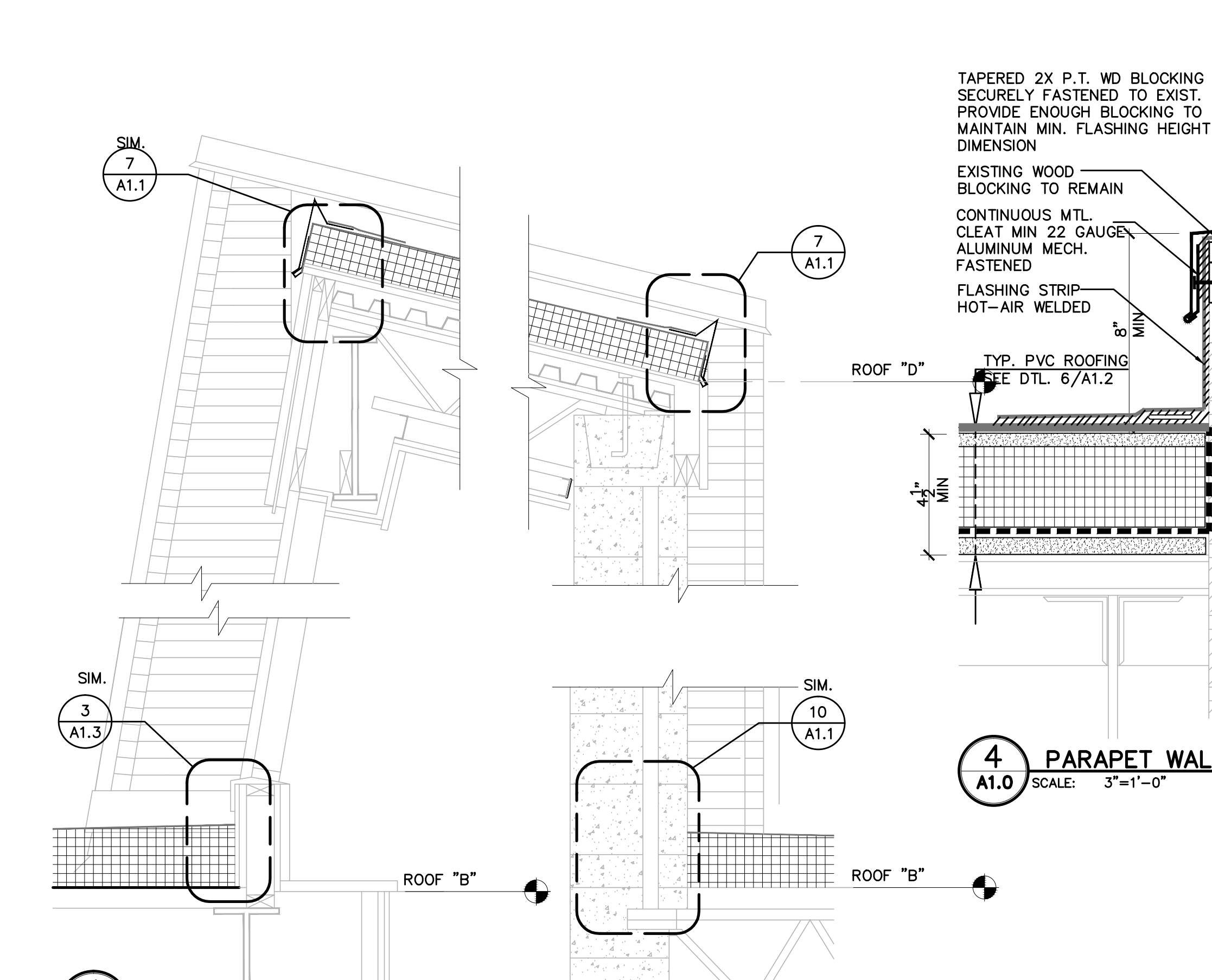
JOB NO:

SHEET NO.:

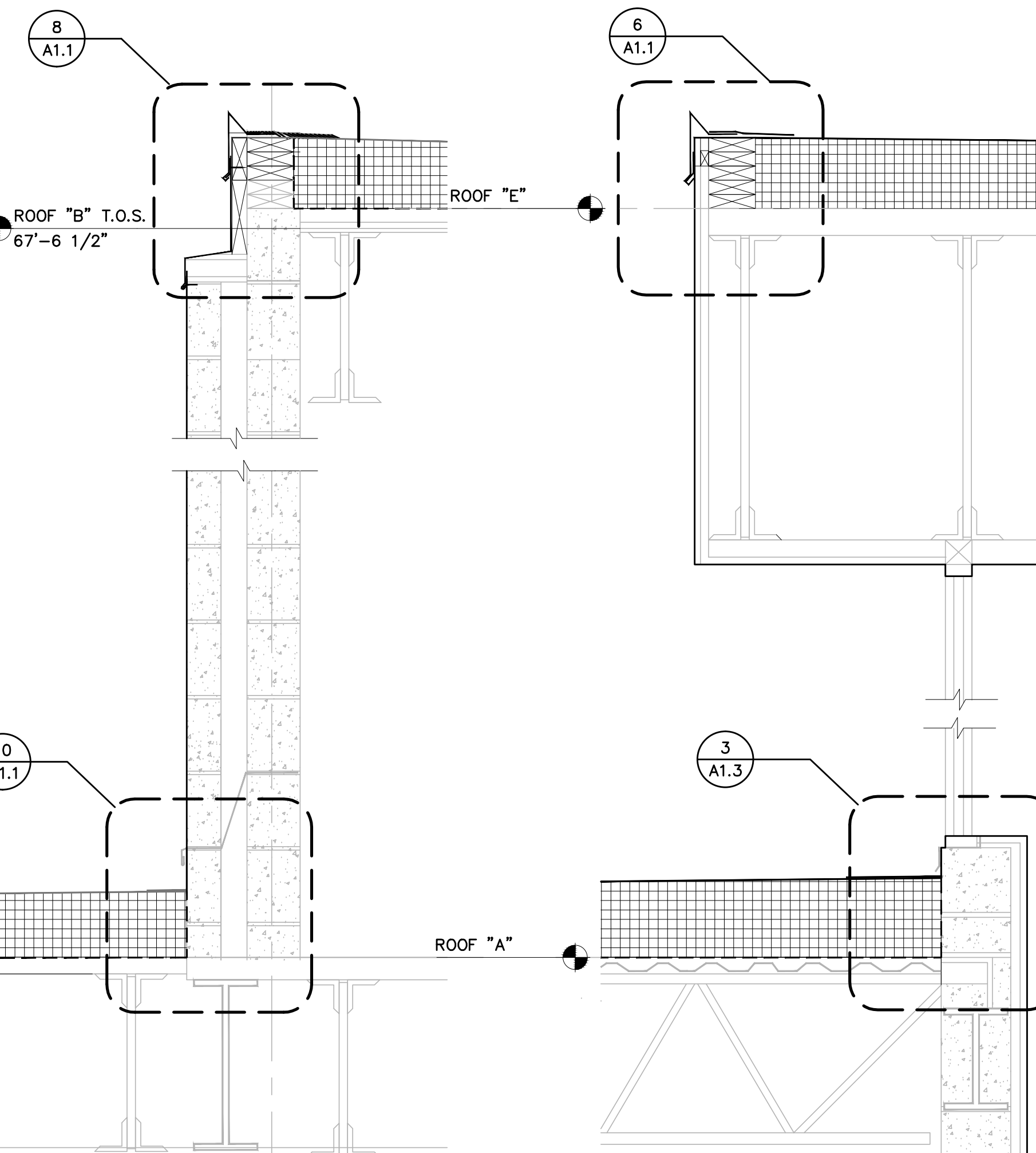
SHEET:

OF:

A1.0



1 SECTION @ ROOF "D"
A1.1 SCALE: 1/16"=1'-0"



2 TYP. SECTION @ MASONRY WALL
A1.1 SCALE: 1/16"=1'-0"

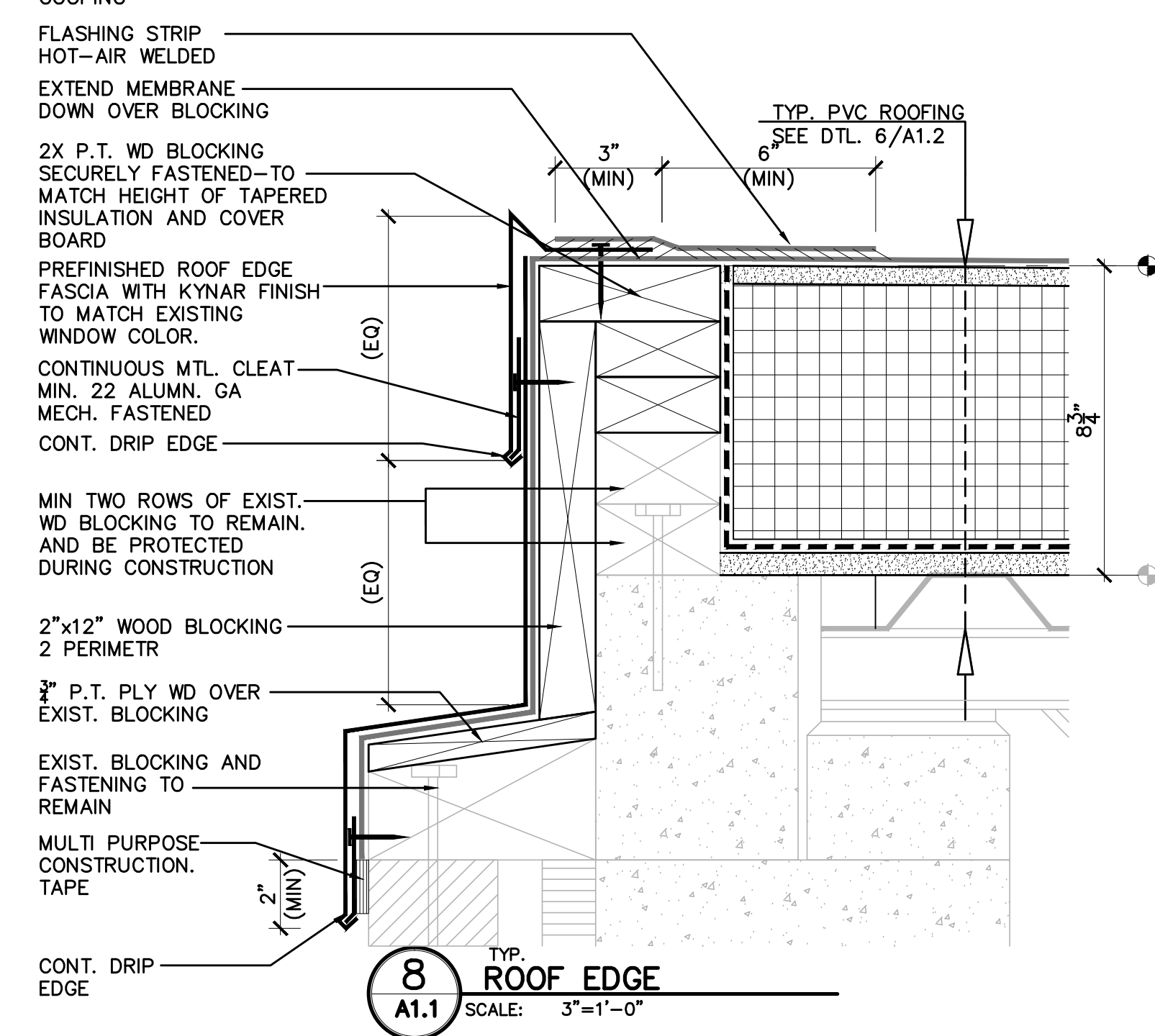
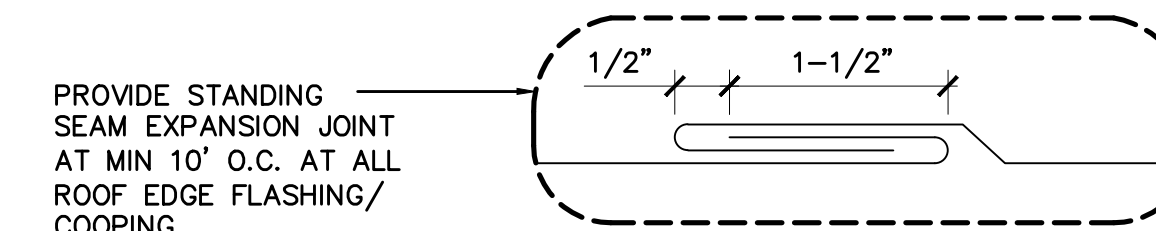
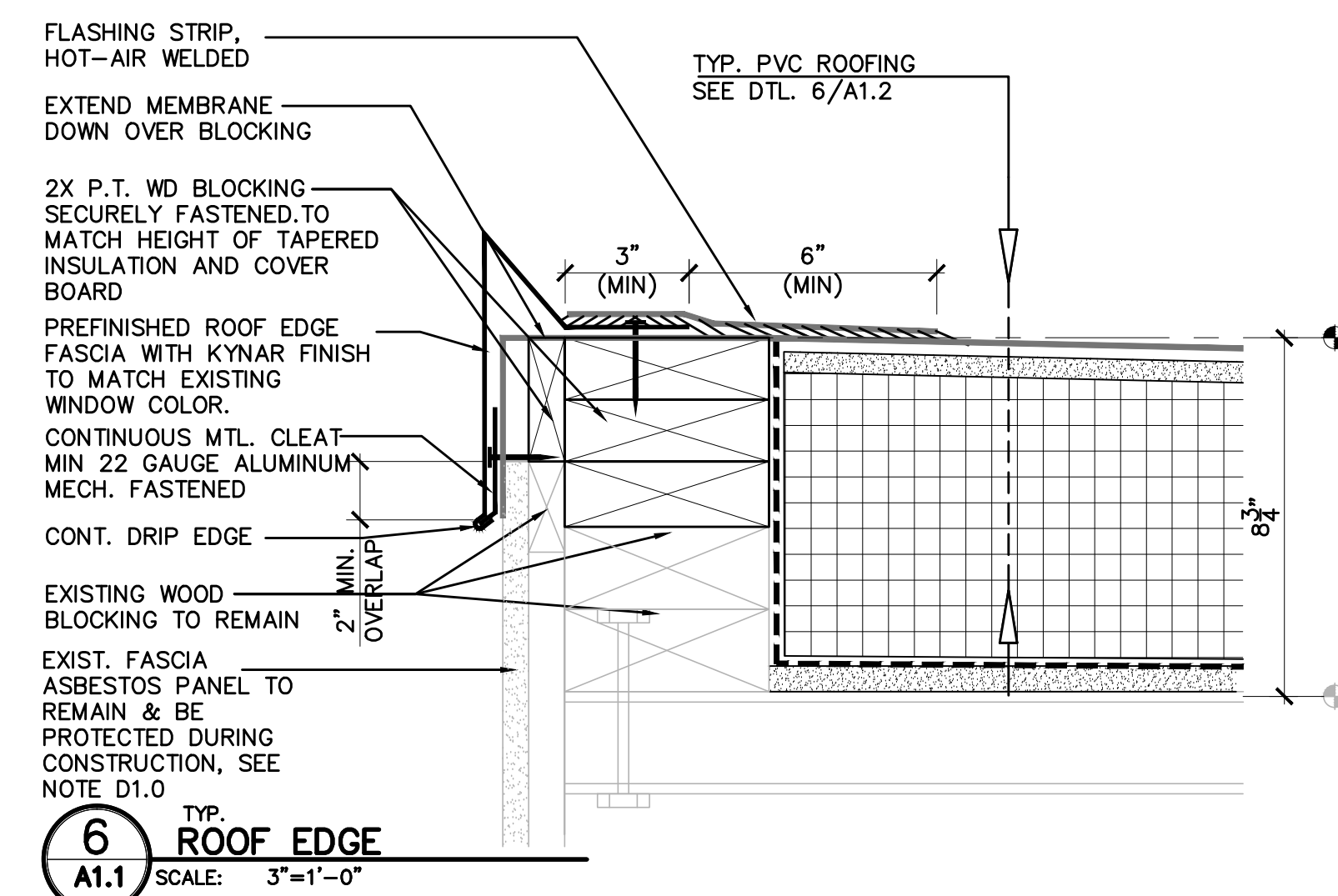
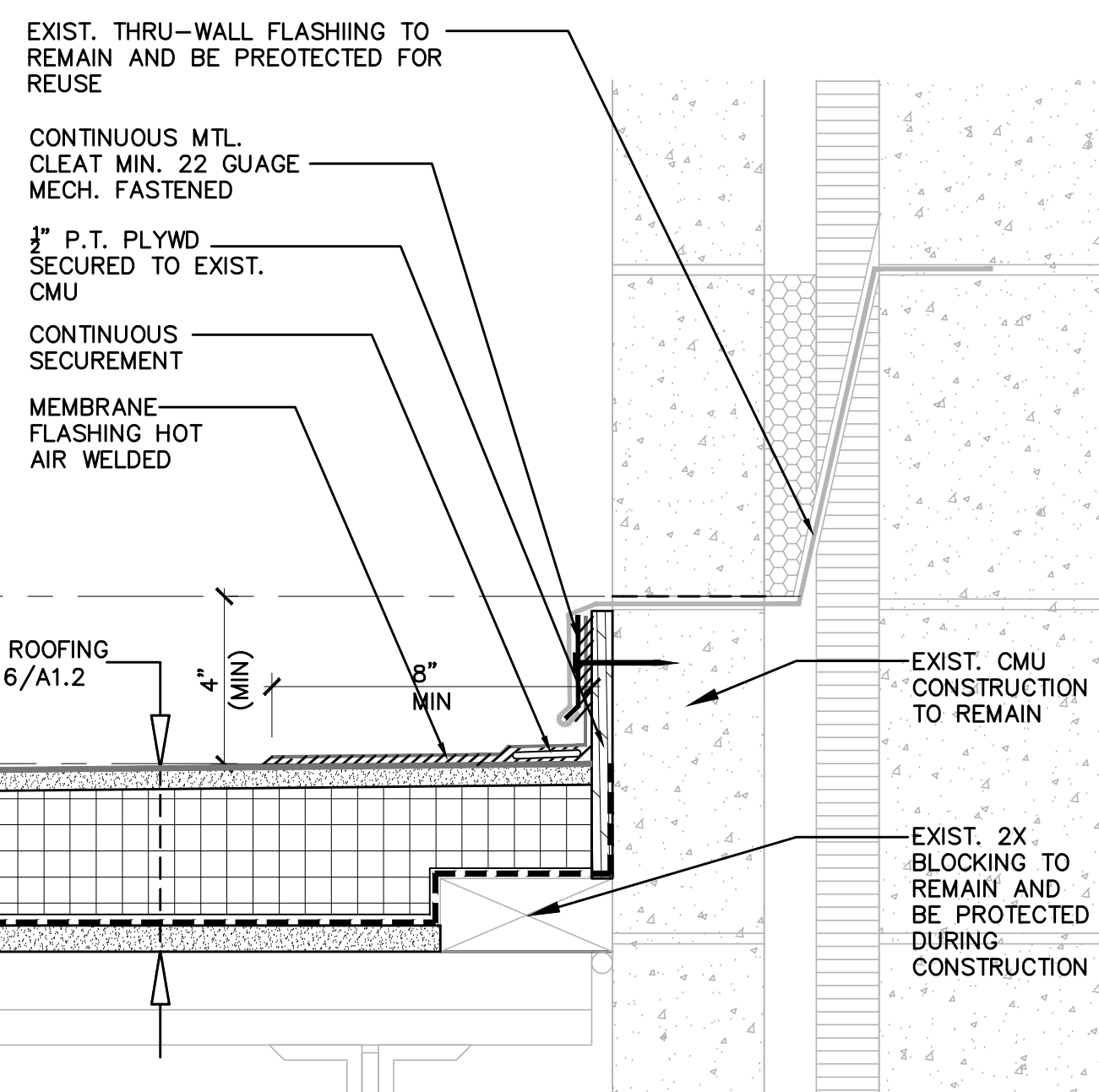
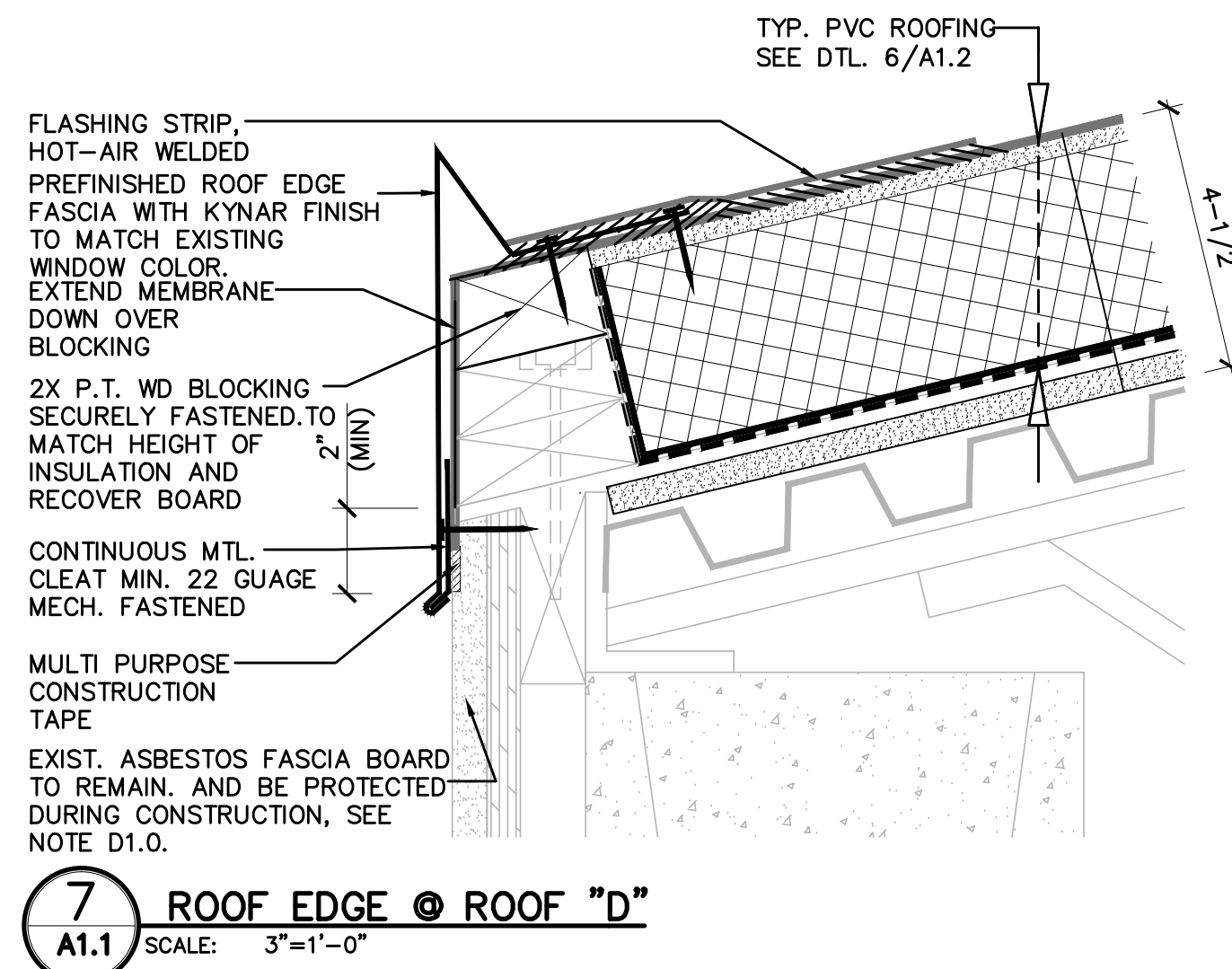
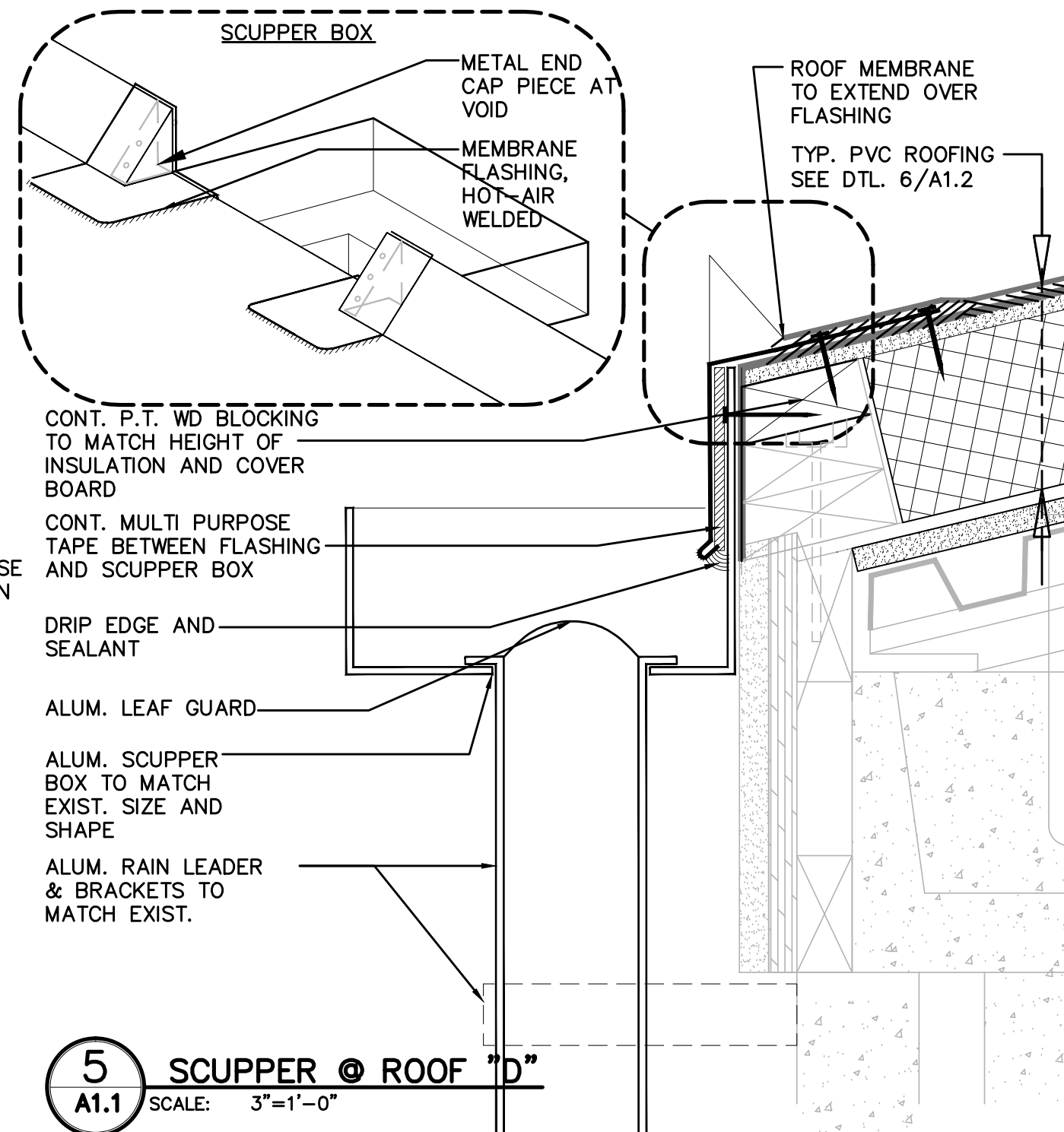
3 TYP. SECTION @ WINDOWS
A1.1 SCALE: 1/16"=1'-0"

4 PARAPET WALL @ ROOF "D"
A1.0 SCALE: 3"=1'-0"

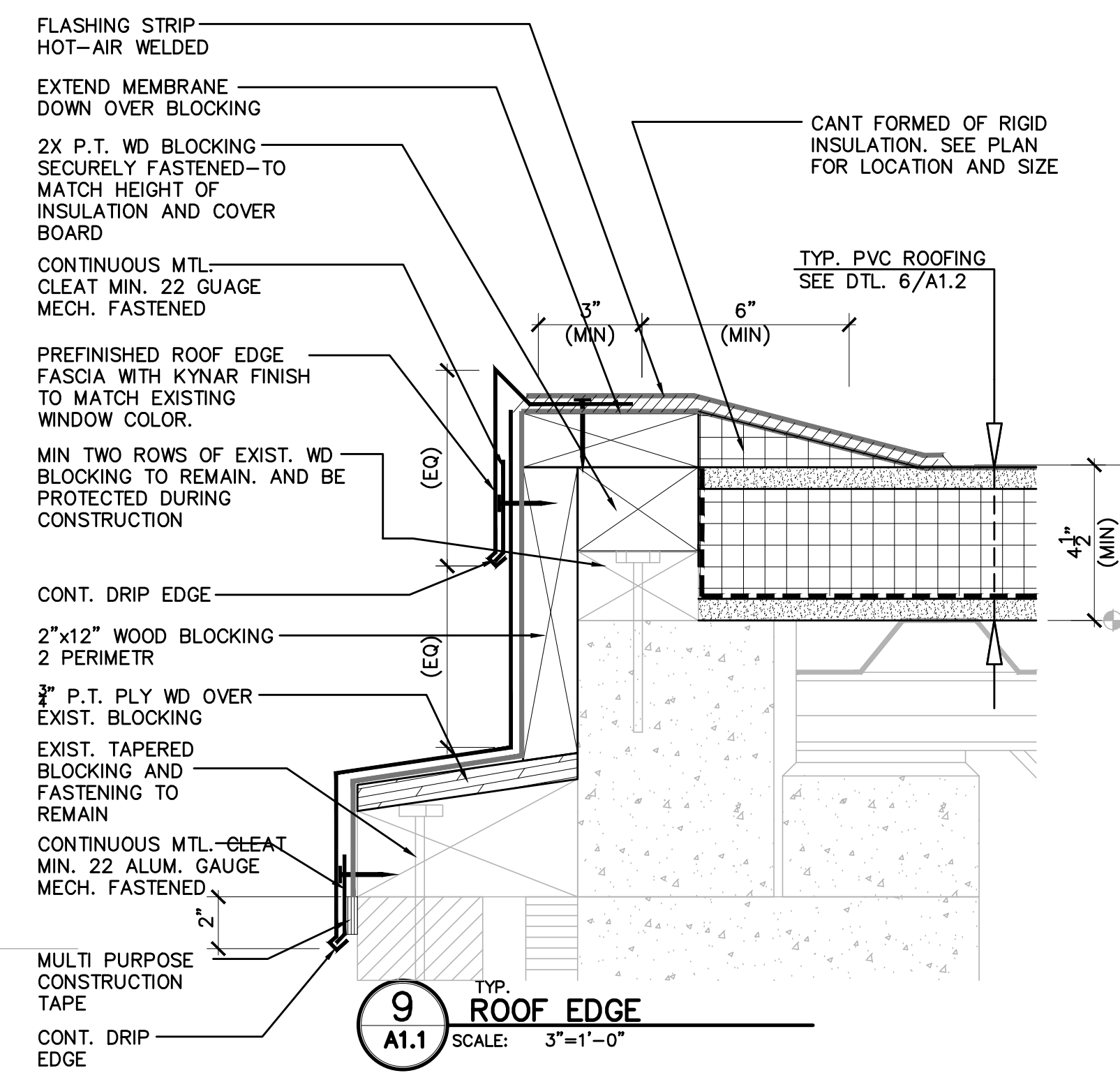
5 SCUPPER @ ROOF "D"
A1.1 SCALE: 3"=1'-0"

7 ROOF EDGE @ ROOF "D"
A1.1 SCALE: 3"=1'-0"

10 TYP. TERMINATION @ VERTICAL WALL
A1.1 SCALE: 3"=1'-0"



8 TYP. ROOF EDGE
A1.1 SCALE: 3"=1'-0"



9 TYP. ROOF EDGE
A1.1 SCALE: 3"=1'-0"

LPBA Architects, Inc.

Architecture
Planning
Interiors
Construction-
Management

214 Lincoln Street
Unit 305
Boston, MA 02134

Tel.: 617.782.0255
Fax: 617.782.0277

Email: info@lpba.com
Web Site: www.lpba.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

PEABODY PUBLIC SCHOOLS
21 JOHNSON STREET
PEABODY, MA 01960

PROJECT:

WILLIAM A. WELCH
ELEMENTARY SCHOOL
WILLIAM A. WELCH SR.
50 SWAMPSCOTT AVE.
PEABODY, MA 01960

DRAWING TITLE:

TYPICAL SECTION DETAILS

DRAWN BY: L.D.

CHECKED BY: E.P.

SCALE: AS NOTED

DATE: APRIL 09, 2012

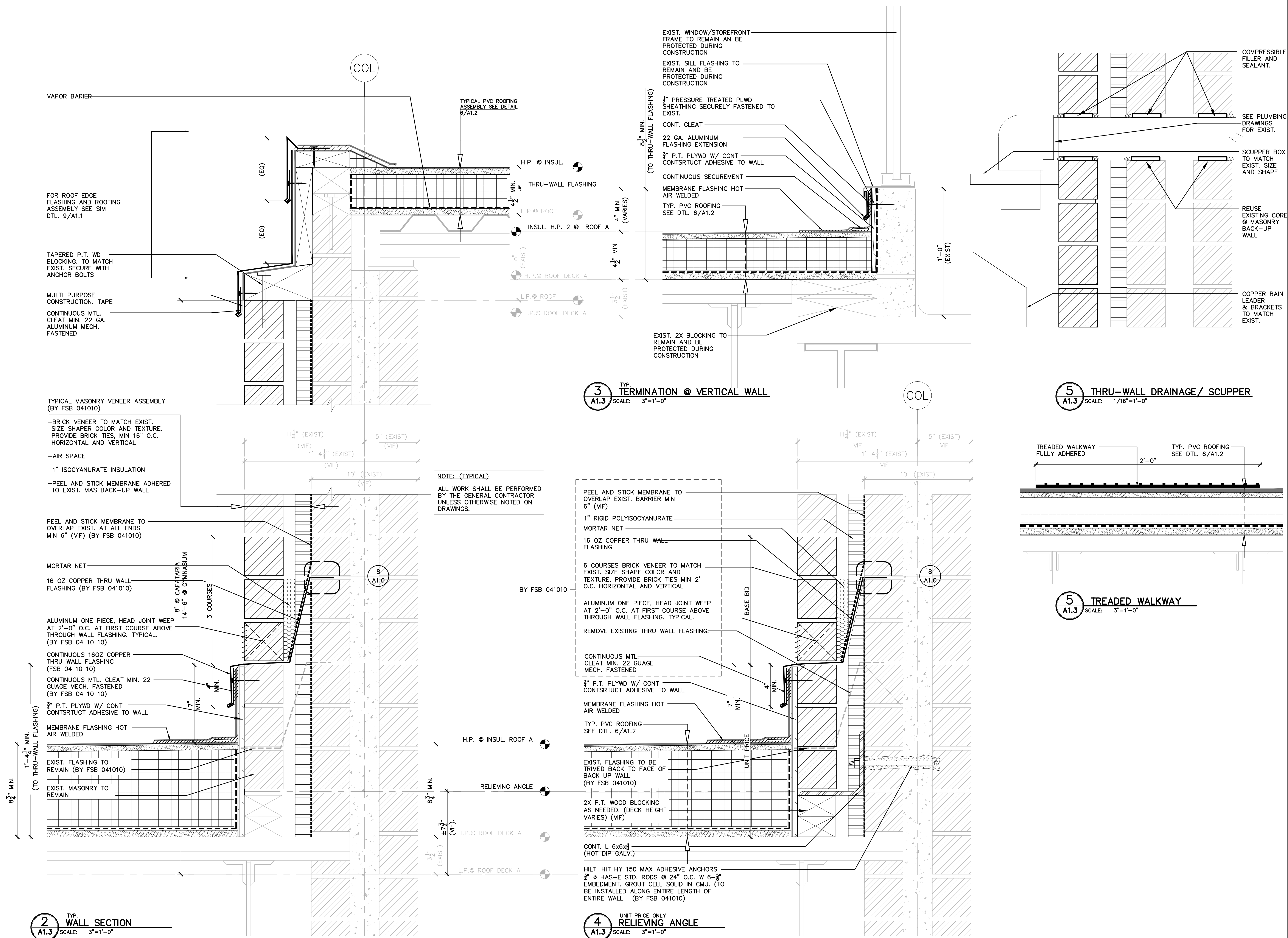
JOB NO:

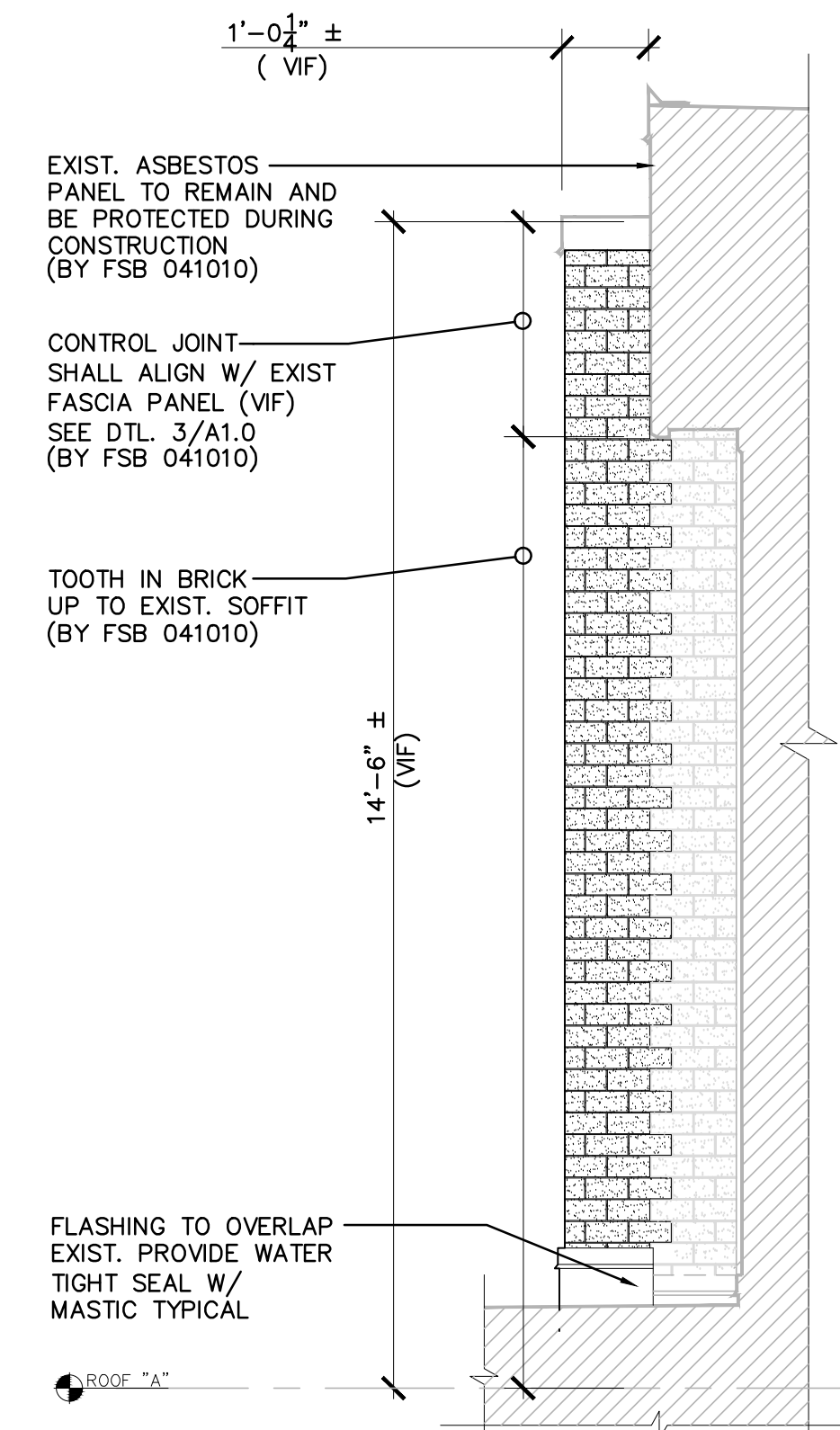
SHEET NO.:

A1.1

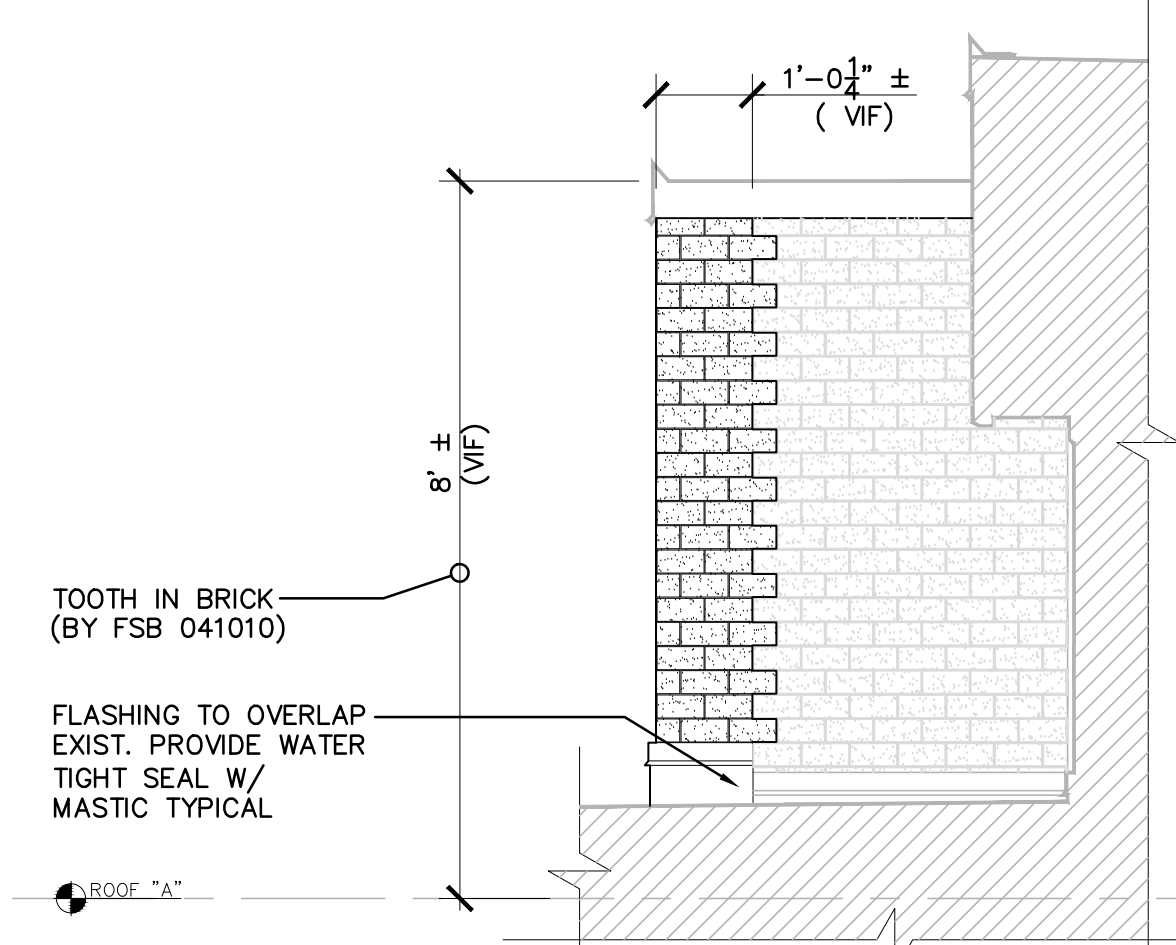
SHEET:

OF:

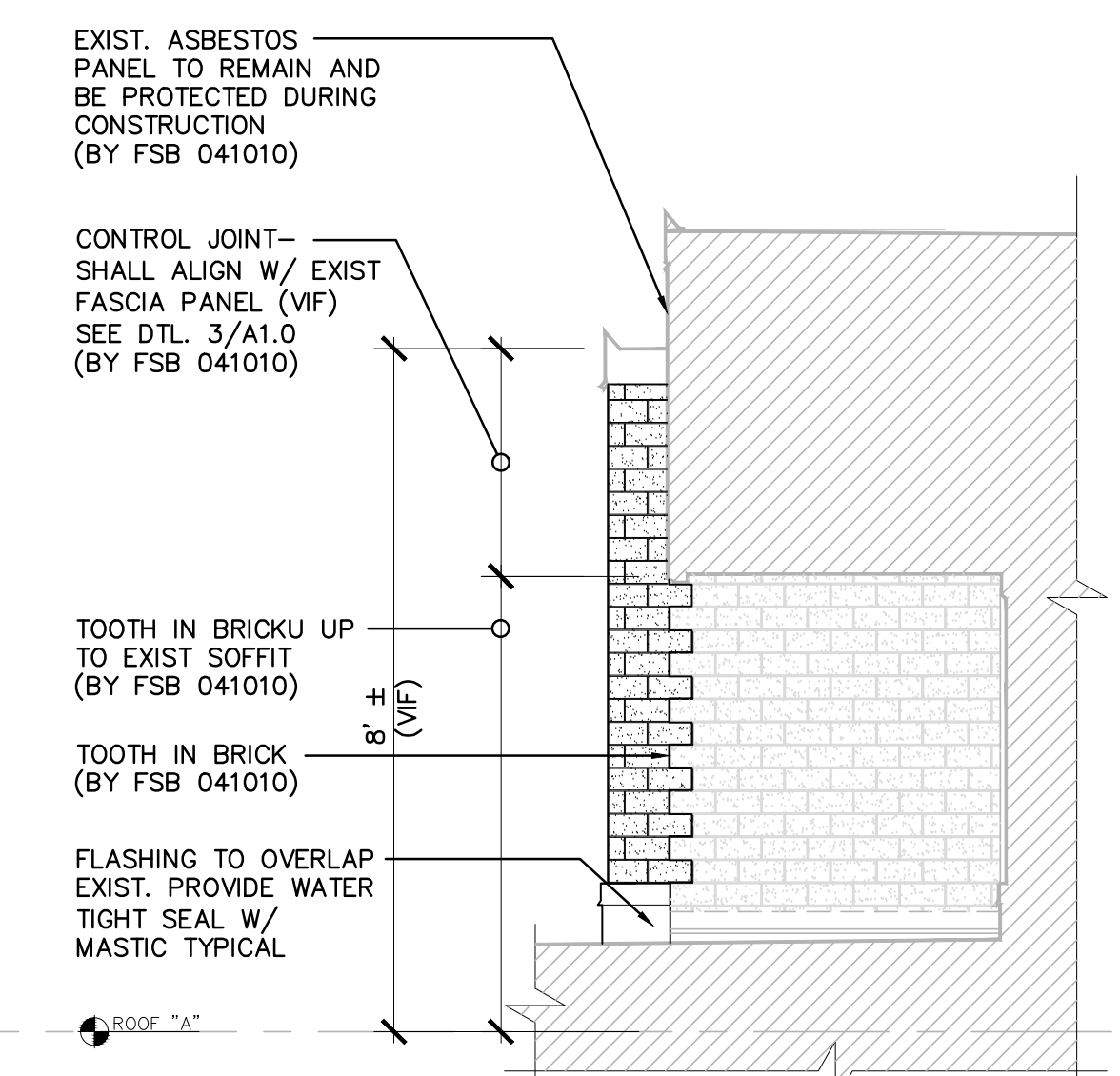




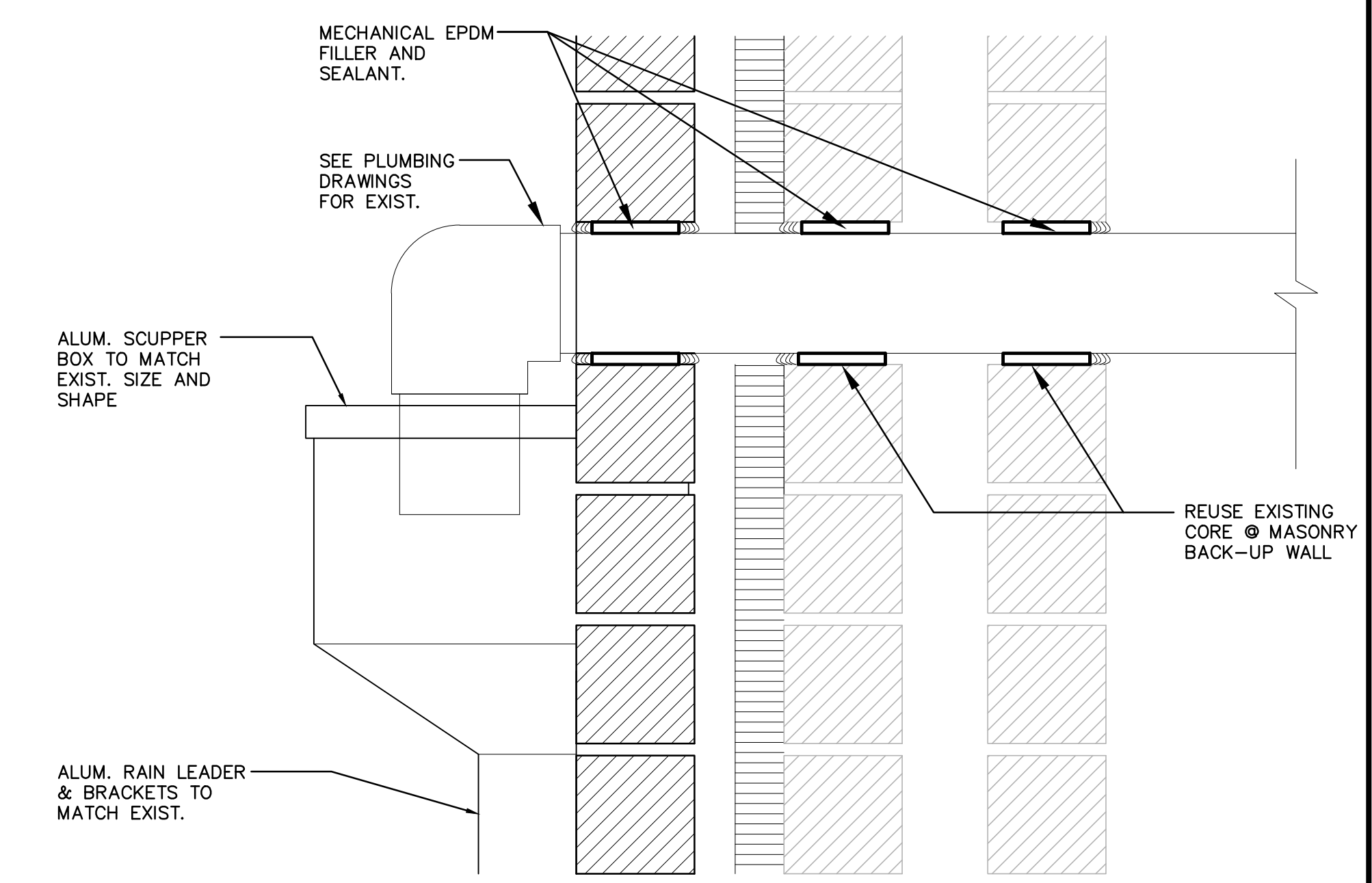
1
A1.4 PARTIAL ELEVATION
SCALE: 1/2"=1'-0"



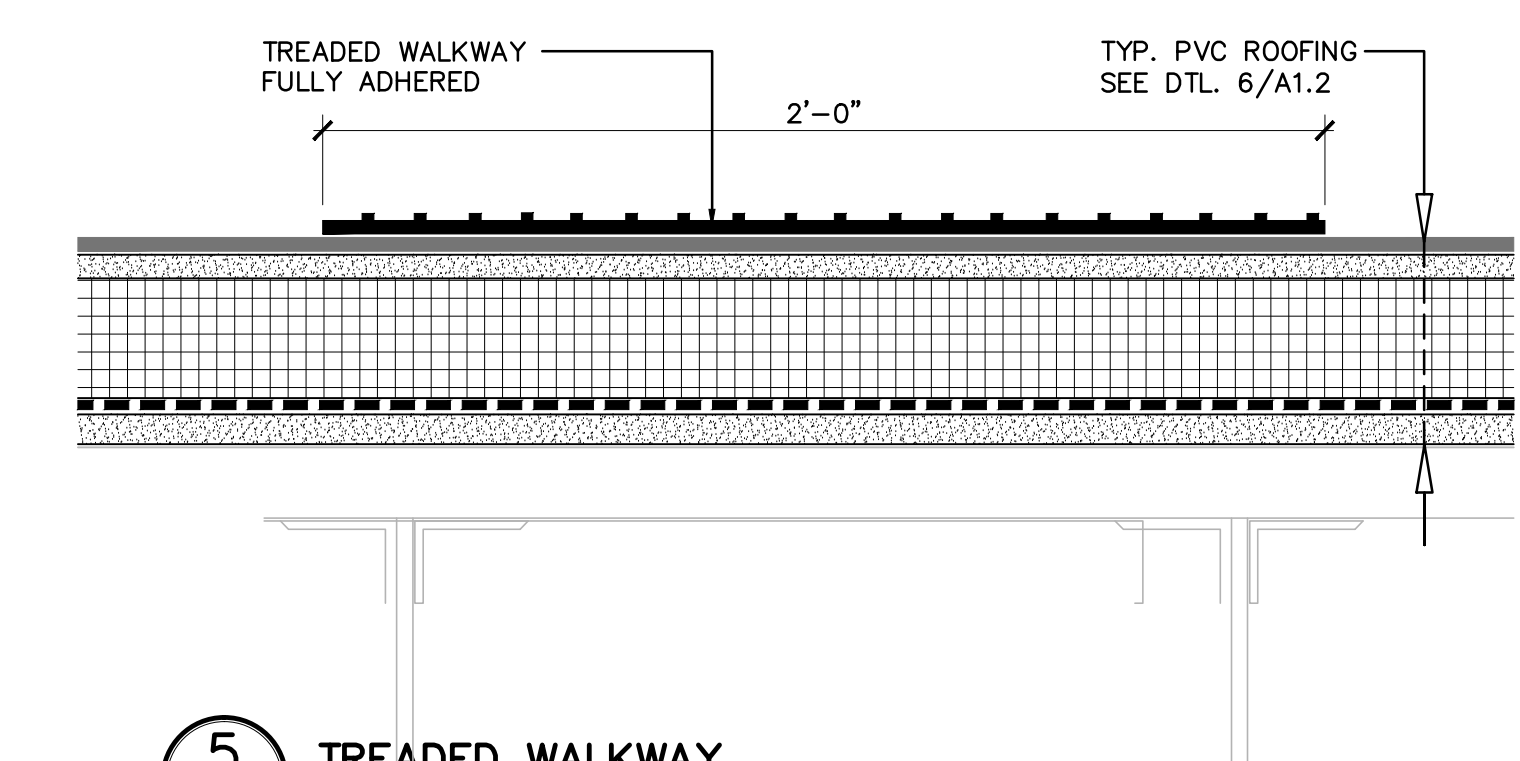
2
A1.4 PARTIAL ELEVATION
SCALE: 1/2"=1'-0"



3
A1.4 PARTIAL ELEVATION
SCALE: 1/2"=1'-0"



4
A1.4 THRU-WALL DRAINAGE/ SCUPPER
SCALE: 1/16"=1'-0"



5
A1.4 TREADED WALKWAY
SCALE: 3"=1'-0"

LPBA Architects, Inc.

Architecture
Planning
Interiors
Construction-
Management

214 Lincoln Street
Unit 305
Boston, MA 02134

Tel.: 617.782.0255
Fax: 617.782.0277

Email: info@lpba.com
Web Site: www.lpba.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

PEABODY PUBLIC SCHOOLS
21 JOHNSON STREET
PEABODY, MA 01960

PROJECT:

WILLIAM A. WELCH
ELEMENTARY SCHOOL
WILLIAM A. WELCH SR.
50 SWAMPSCOTT AVE.
PEABODY, MA 01960

DRAWING TITLE:

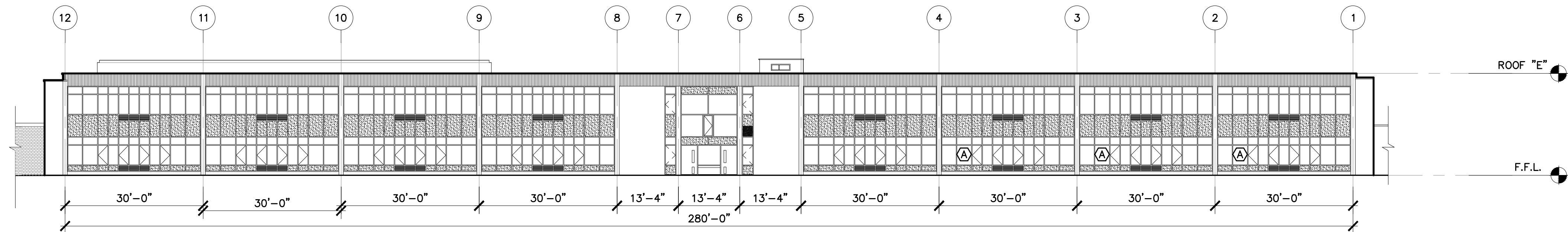
ROOF AND WALL SECTIONS

DRAWN BY: L.D.
CHECKED BY: E.P
SCALE: AS NOTED
DATE: FEBRUARY 03, 2012
JOB NO:

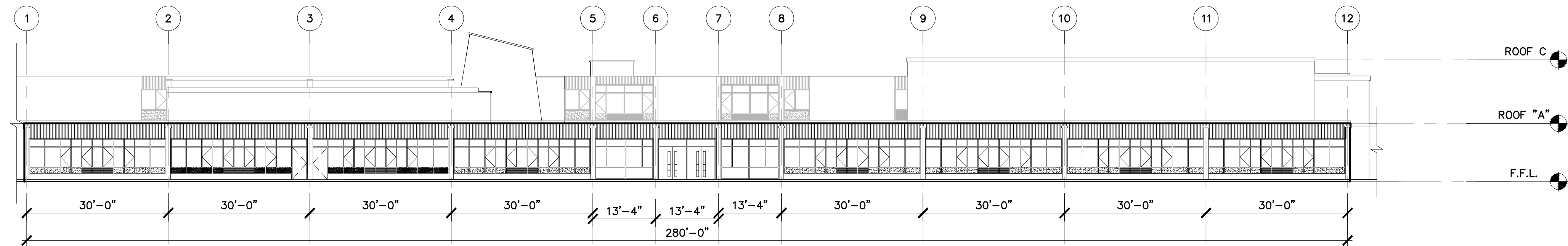
SHEET NO.:

A1.4

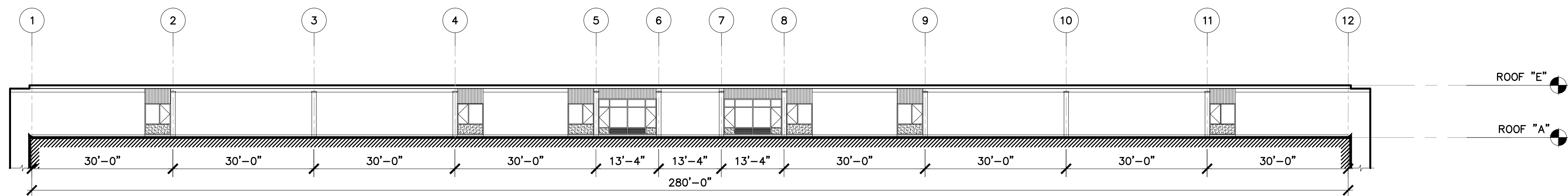
SHEET: OF:



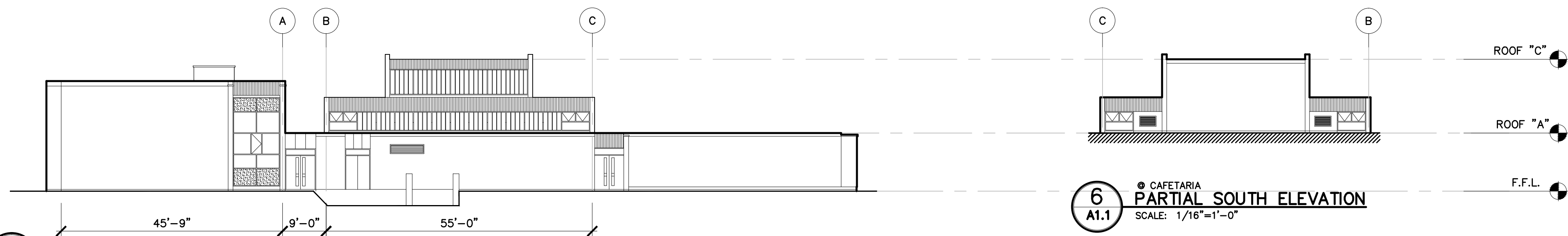
1 EAST ELEVATION
A2.0
SCALE: 1/16"=1'-0"



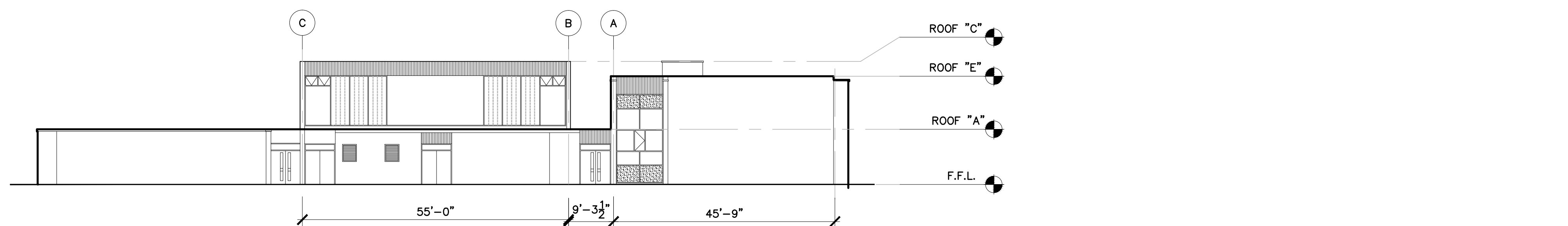
2 WEST ELEVATION
A2.0
SCALE: 1/16"=1'-0"



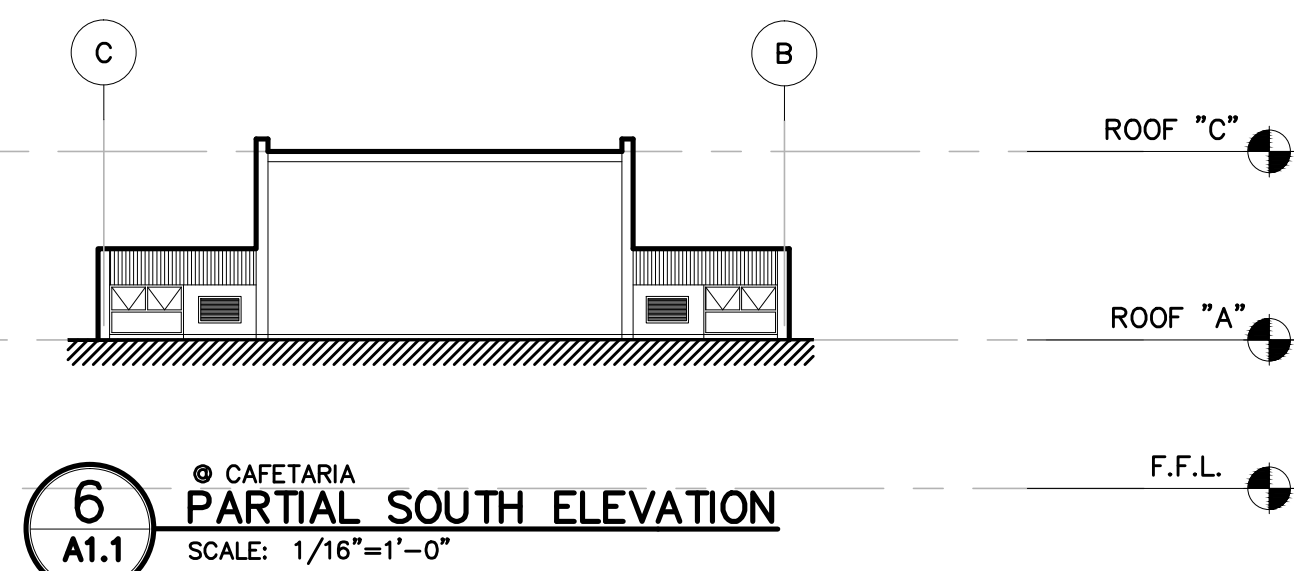
3 WEST ELEVATION
A2.0
SCALE: 1/16"=1'-0"



4 NORTH ELEVATION
A2.0
SCALE: 1/16"=1'-0"



5 SOUTH ELEVATION
A2.0
SCALE: 1/16"=1'-0"



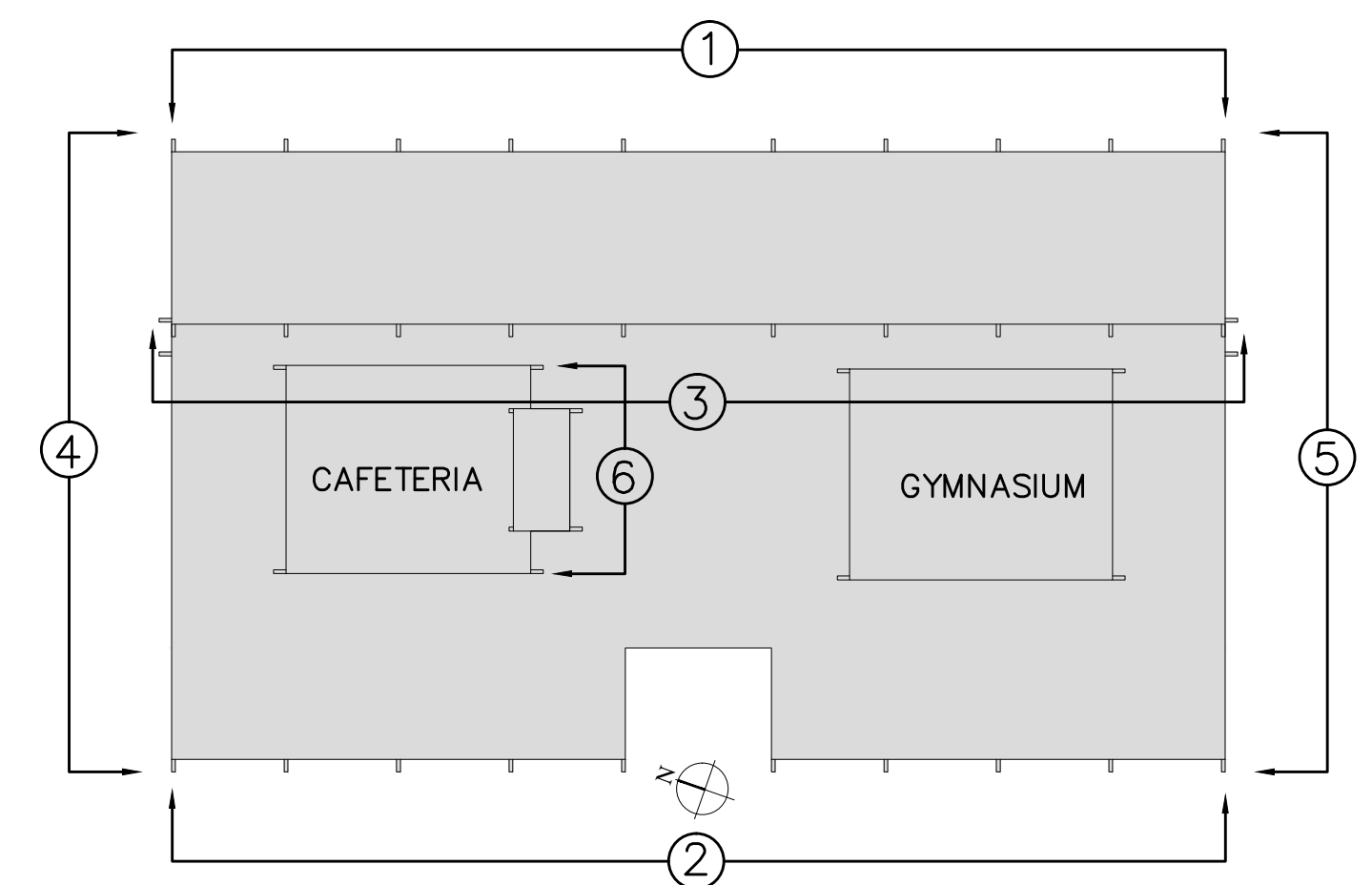
6 CAFETERIA
PARTIAL SOUTH ELEVATION
A1.1
SCALE: 1/16"=1'-0"

NOTE:
ELEVATIONS ON THIS SHEET ARE PROVIDED FOR CLARIFICATION AS TO THE
LOCATION OF EXISTING ASBESTOS FASCIA PANELS

LEGEND

EXISTING ASBESTOS FASCIA PANELS TO REMAIN. FOR ALL
EXISTING ASBESTOS FASCIA PANELS REFER TO ROOF EDGE
DETAIL 6/A1.1 UNLESS KEYED OR NOTED OTHERWISE ON
ROOF PLAN. PANELS ARE TO REMAIN UNDISTURBED AND BE
PROTECTED DURING CONSTRUCTION. SEE NOTE D1.0 FOR
ADDITIONAL INFORMATION.

ELEVATION KEY PLAN



LPBA
Architects, Inc.

Architecture
Planning
Interiors
Construction-
Management

214 Lincoln Street
Unit 305
Boston, MA 02134

Tel.: 617.782.0255
Fax: 617.782.0277

Email: info@lpba.com
Web Site: www.lpba.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

PEABODY PUBLIC SCHOOLS
21 JOHNSON STREET
PEABODY, MA 01960

PROJECT:

WILLIAM A. WELCH
ELEMENTARY SCHOOL
WILLIAM A. WELCH SR.
50 SWAMPSCOTT AVE.
PEABODY, MA 01960

DRAWING TITLE:

BUILDING ELEVATIONS

DRAWN BY: L.D.

CHECKED BY: E.P

SCALE: AS NOTED

DATE: APRIL 09, 2012

JOB NO:

SHEET NO.:

A2.0

SHEET:

OF: