

PROJECT:

**John E. Burke School & William A. Welch Elementary School
Roof Replacement**

**MSBA Green Repair Program
Massachusetts School Building Authority**

Set 1 of 2
John E. Burke School
127 Birch Street
Peabody, MA 01960

AWARDING AUTHORITY:
Peabody Public Schools
Dr. G. Milton Burnett,
Superintendent of Schools
21 Johnson Street
Peabody, MA 01960

STRUCTURAL ENGINEER:
Roome & Guarracino, LLC
48 Grove Street, Suite 301
Somerville, MA 02144
Tel: 617/628-1700 Fax:

ENVIRONMENTAL ENGINEER:
Covino Environmental Associates Inc.
300 Wildwood Avenue
Woburn, MA 01801
Tel: 781/933-2555 Fax: 781/932-9402

OWNER'S PROJECT MANAGER:
Daedalus Projects, Inc.
Vivian Low, AIA, Project Manager
112 South Street,
Boston, MA
Tel: 617/ 451-2717

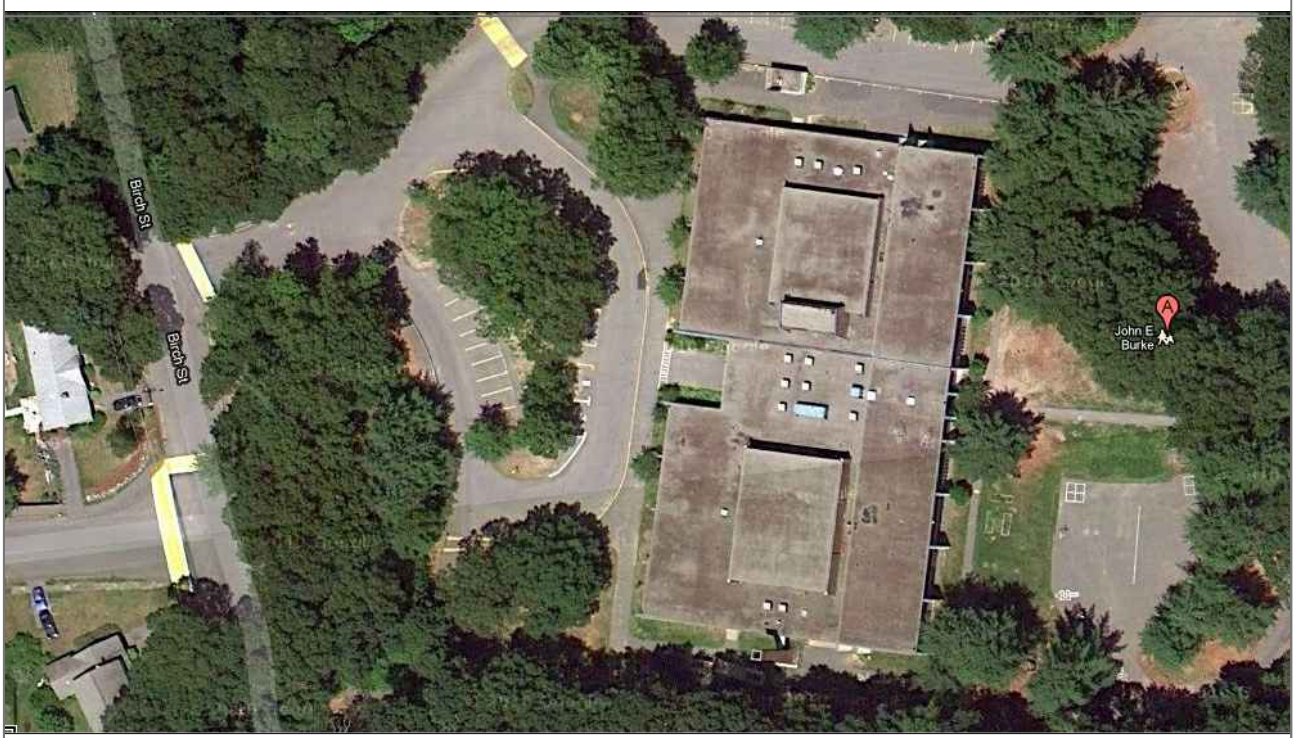
MECHANICAL ENGINEER:
MacRitchie Engineering
197 Quincy Avenue
Braintree, MA 02184
Tel: 781/848-4464 Fax:

ELECTRICAL ENGINEER:
Art Engineering
76 Webster Street,
Worcester, MA 01603
Tel: 508/ 797-0333

ARCHITECT:
LPBA / Architects, Inc.
214 Lincoln Street, Suite 305
Boston, MA 02134
Tel: 617/782-0255 Fax: 617/782-0277

ARCHITECTURAL SPECIFICATIONS:
Spec Edit, Inc.
57 Nottingham Drive
Pittsfield, MA 01201
Tel: 413/442-0515 Fax: 413/442-0515

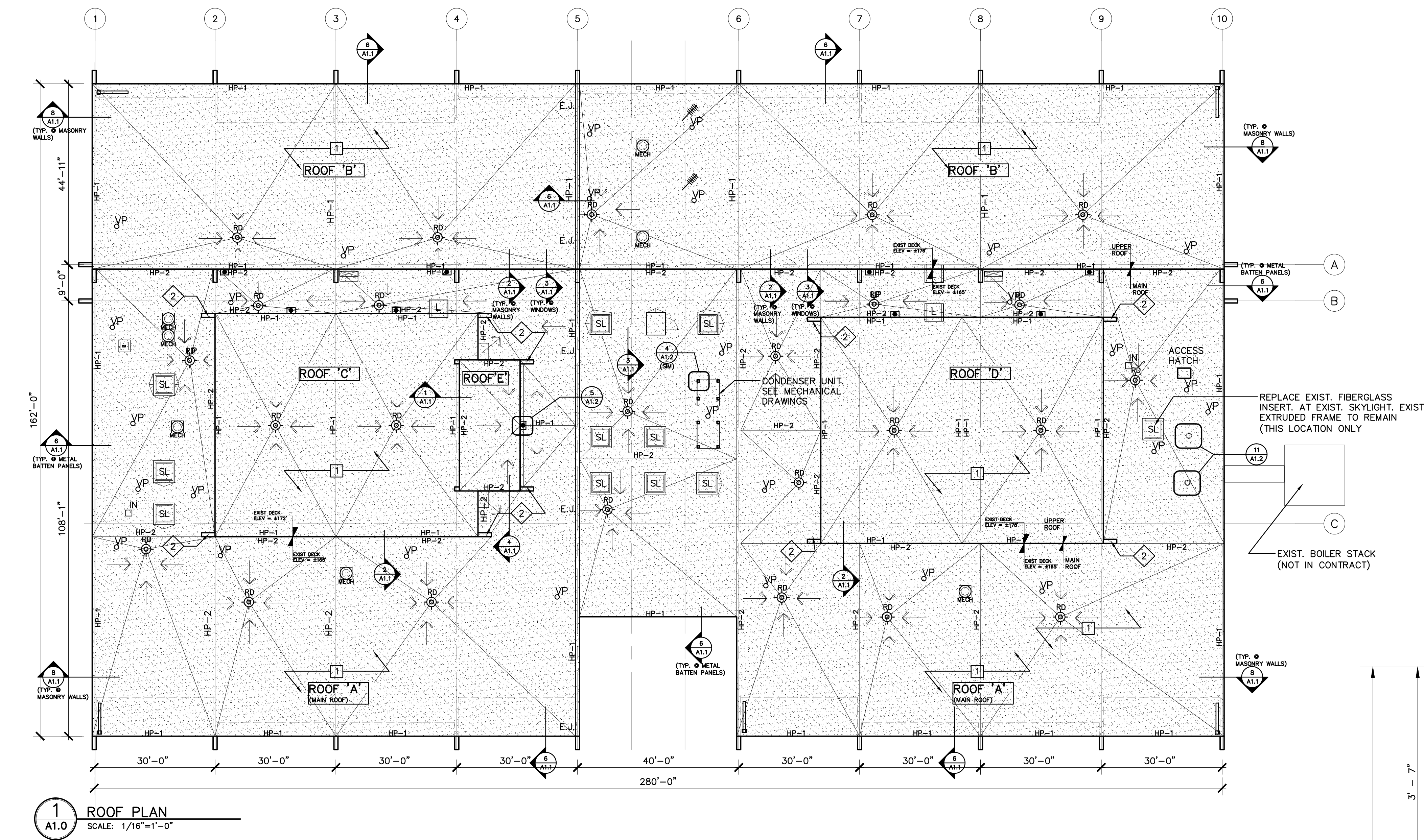
COST ESTIMATOR:
Construction Consultant
21 Old Warren Road
West Brookfield, MA 01585
Tel: 508/867-3222 Fax: 508/



LOCUS MAP

JUNE 1, 2011

T-1



LEGEND

- RD ROOF DRAIN- SEE GENERAL NOTE 2 ON THIS SHEET REFER TO DETAIL 5/A1.2
- VP VENT THRU ROOF. REFER TO DETAIL 1/A1.2
- MECH MECHANICAL ROOF TOP UNIT. SEE GENERAL 9 ON THIS SHEET. REFER TO DETAIL 8/A1.2
- HP-1 ±8" ABOVE EXIST DECK
- HP-2 ±6" ABOVE EXIST. DECK
- LP LOW POINT= 4.5" RIGID INSULATION ABOVE DECK (® EDGE OF DRAINAGE SUMP)
- EJ EXPANSION JOINT. REFER TO DETAIL 3/A1.2
- DIRECTION OF PITCH FROM H.P. TO L.P.
- TYPICAL PVC ROOF ASSEMBLY NOTE ON 7/A1.2
- SL EXIST. SKYLIGHT. REFER TO DETAIL 4/A1.2
- EXIST. THRU-WALL SCUPPER BOX AND RAIN LEADER TO REMAIN SEE GENERAL NOTE 2
- L ROOF LADDER REFER TO DTL. 2/A1.1
- EXIST. INTAKE DUCT REFER TO DETAIL 2/A1.2
- EXISTING ANTENNA TO BE REINSTALLED
- SLEEPER- REFER TO DTL. 6/A1.2

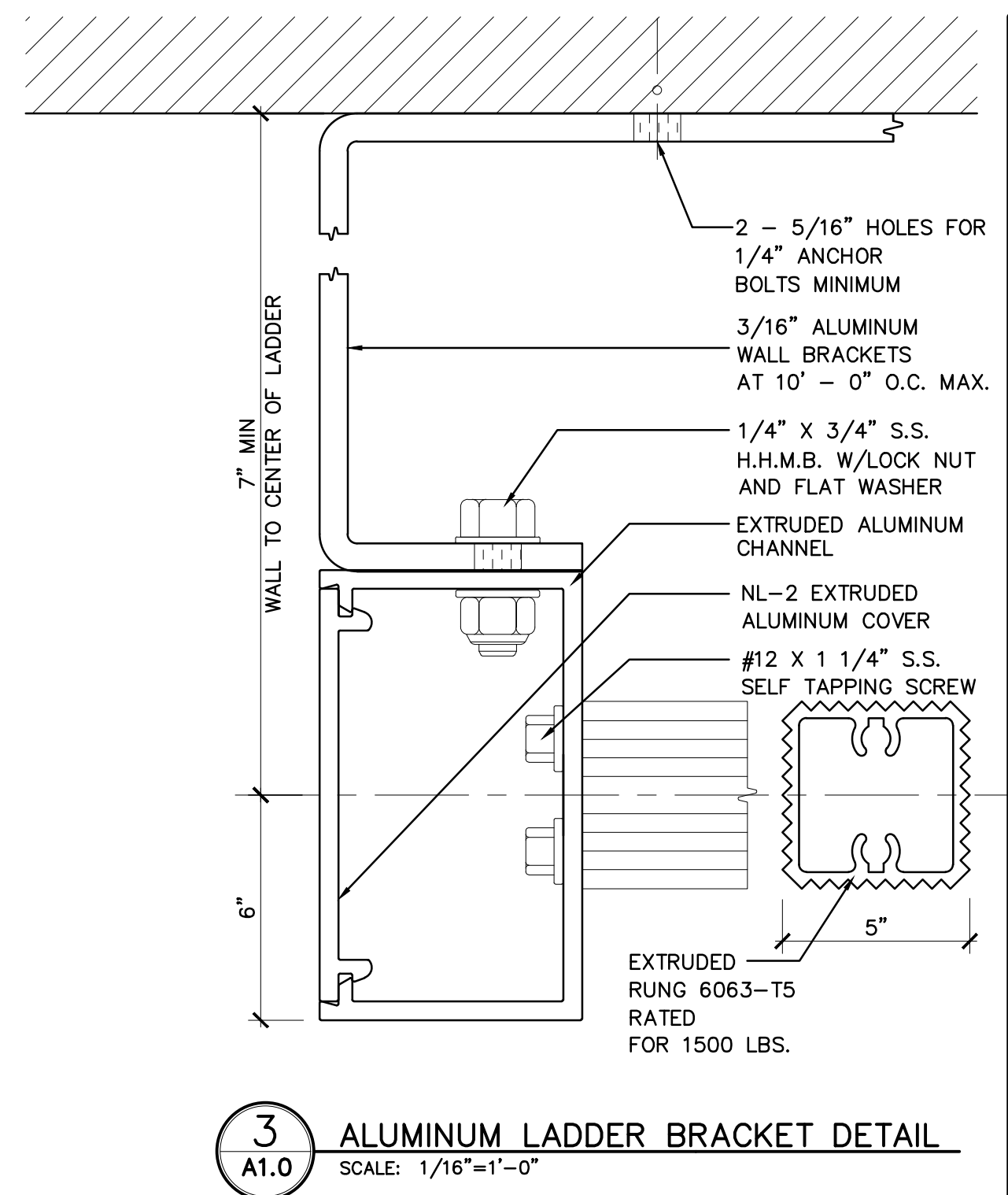
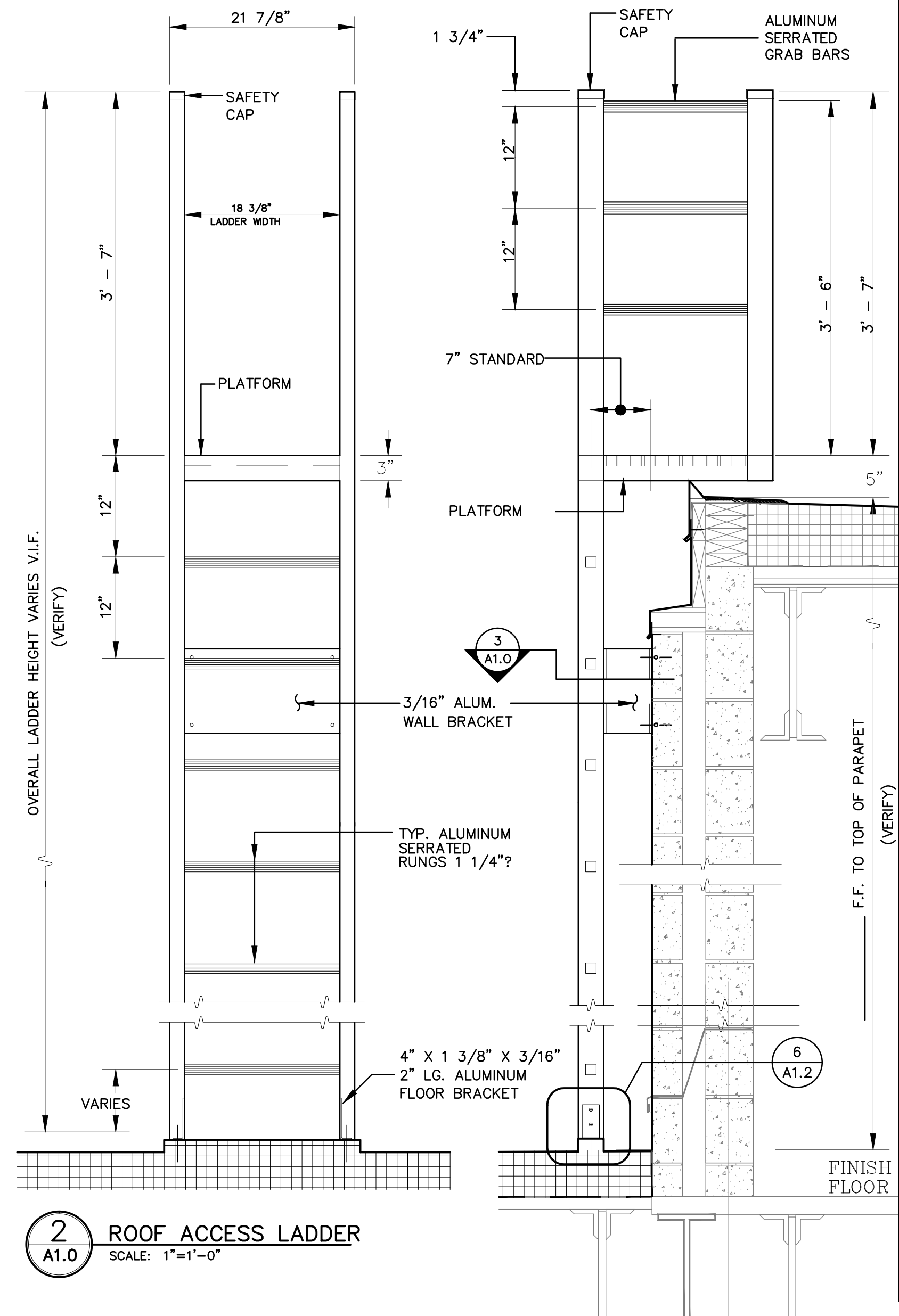
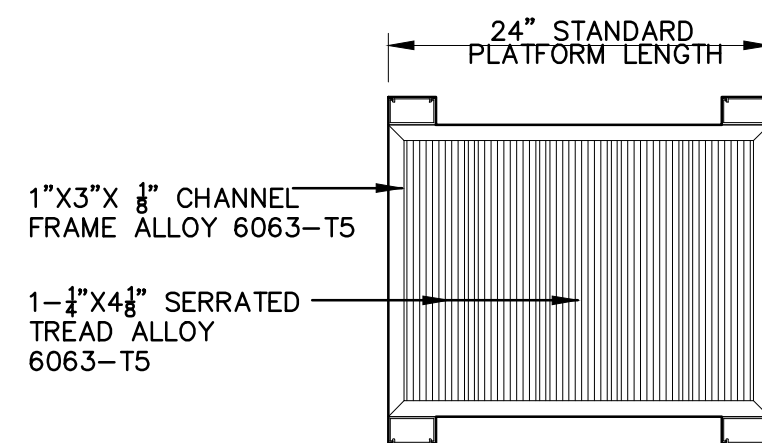
GENERAL NOTES (TYPICAL)

- ALL DIMENSIONS, CONDITIONS AND INFORMATION SHOWN ARE FOR PROPOSED WORK. VERIFY ALL DIMENSIONS IN FIELD. ANY EXISTING ELEMENTS CALLED OUT IN THE LEGEND BUT NOT IDENTIFIED ON THE PLAN WILL ALSO BE SUBJECT TO PROPOSED WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLAN.
- THE ROOFING CONTRACTOR SHALL SUBMIT TO THE ARCHITECT WRITTEN CONFIRMATION THAT ALL ROOF DRAINS AND LEADERS TO BE REUSED, HAVE BEEN FIELD TESTED AND HAVE BEEN DETERMINED TO BE OPEN AND DRAINING NORMALLY PRIOR TO THE START OF WORK. IF PROBLEMS ARE FOUND CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL PROVIDE FOR PATCHING AND MATCHING OF EXISTING INTERIOR FINISH CEILING WERE WORK ON ROOF DRAINS REQUIRES ACCESS FROM BELOW.
- FASTENER PULL OUT TESTS MUST BE PERFORMED BY ROOFING CONTRACTOR ON THE ROOF DECK WITH APPROVED FASTENERS TO VERIFY THE INTEGRITY OF THE DECK AND TO ESTABLISH FASTENING TO MEET MOST RECENT REQUIREMENTS OF MA STATE BUILDING CODE. ALL WOOD NAILERS AND ROOF EDGE BLOCKING SHALL BE ANCHORED TO THE EXISTING DECK SUCH AS TO RESIST A FORCE OF 300lbs PER L.F. IN ANY DIRECTION.
- PRIOR TO INSTALLATION OF ROOFING SYSTEM THE ARCHITECT SHALL EXAMINE AND APPROVE CONDITION OF EXISTING DECKING.
- ALL INSULATION SHALL BE TAPERED TO ACHIEVE 1/8" MINIMUM PITCH WHILE CONFORMING TO DIMENSIONAL REQUIREMENTS SHOWN ON DETAILS AT EXISTING SILLS AND THRU-WALL FLASHING. TAPERED INSULATION DESIGN MAY REQUIRE ALTERNATIONS DUE TO UNFORESEEN EXISTING ROOF CONDITIONS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN ALL INSTANCES WHERE MINIMUM REQUIRED DIMENSIONS OF TAPERED INSULATION ® EXISTING SILL & WALL FLASHING CAN NOT BE ACHIEVED. IN ALL INSTANCES INSTALLER MUST MAINTAIN A POS PITCH OF 1/8" MINIMUM TOWARDS DRAINS.
- PROVIDE CONTINUOUS VAPOR BARRIER OVER ENTRY AREA OF ROOF. TURN UP AT ENDS AND SEAL TYPICAL.

- NOT USED
- CONTRACTOR SHALL INVENTORY ALL EXISTING ELECTRONIC DEVICES IE CAMERAS, LOUDSPEAKERS, FLOOD LIGHTING AND RELATED WIRING AND CONDUITS PRIOR TO COMMENCEMENT OF WORK. ELEMENTS SHALL BE STORED IN LOCATION AS DIRECTED BY OWNER AND REINSTALLED IN THE WORK.
- MECHANICAL UNITS SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE G.C. COORDINATE WITH THE MECHANICAL DRAWINGS.
- CONTRACTOR SHALL TAKE CARE TO MAINTAIN EXISTING FLASHING ® MASONRY WALL & WINDOW SILLS FOR REUSE.
- CONTRACTOR SHALL PROVIDE CONTINUOUS SEPARATION AT ALL DISSIMILAR METALS W/ APPROVED PEEL AND STICK MEMBRANE

KEYED SHEET NOTES

- PVC ROOFING ASSEMBLY. SEE TYPICAL PVC ROOF ASSEMBLY NOTE ON DETAIL 7/A1.2.
- INSTALL KYNAR FINISH ALUM VERTICAL WALL CAP FLASHING COLOR TO MATCH EXIST.
- ALUMINUM SCUPPER BOX AND DOWNSPOUTS, PROVIDE CONCRETE SPLASH BLOCKS ® BASE OF ALL DOWNSPOUTS. REFER TO DTL. 5/A1.1
- NOT USED
- PROVIDE ROOF ACCESS HATCH TO MATCH EXISTING SIZE, SHAPE, DOOR SWING, AND ORIENTATION. REFER TO DETAIL 9/A1.2



LPBA Architects, Inc.

Architecture
Interiors
Construction-
Management

214 Lincoln Street
Unit 305
Boston, MA 02134

Tel.: 617.782.0255
Fax: 617.782.0277

Email: info@lpba.com
Web Site: www.lpba.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

PEABODY PUBLIC SCHOOLS

PROJECT:

JOHN E. BURKE AND WILLIAM
A. WELCH ELEMENTARY
SCHOOL
JOHN E. BURKE SCHOOL
127 BIRCH STREET
PEABODY, MA 01960
SET 1 OF 2

DRAWING TITLE:

ROOF PLAN

DRAWN BY: LD
CHECKED BY: EP
SCALE: AS NOTED
DATE: JUNE 1, 2011
JOB NO:

SHEET NO.:

A1.0

SHEET:

OF:

Email: info@lpba.com
Web Site: www.lpba.com

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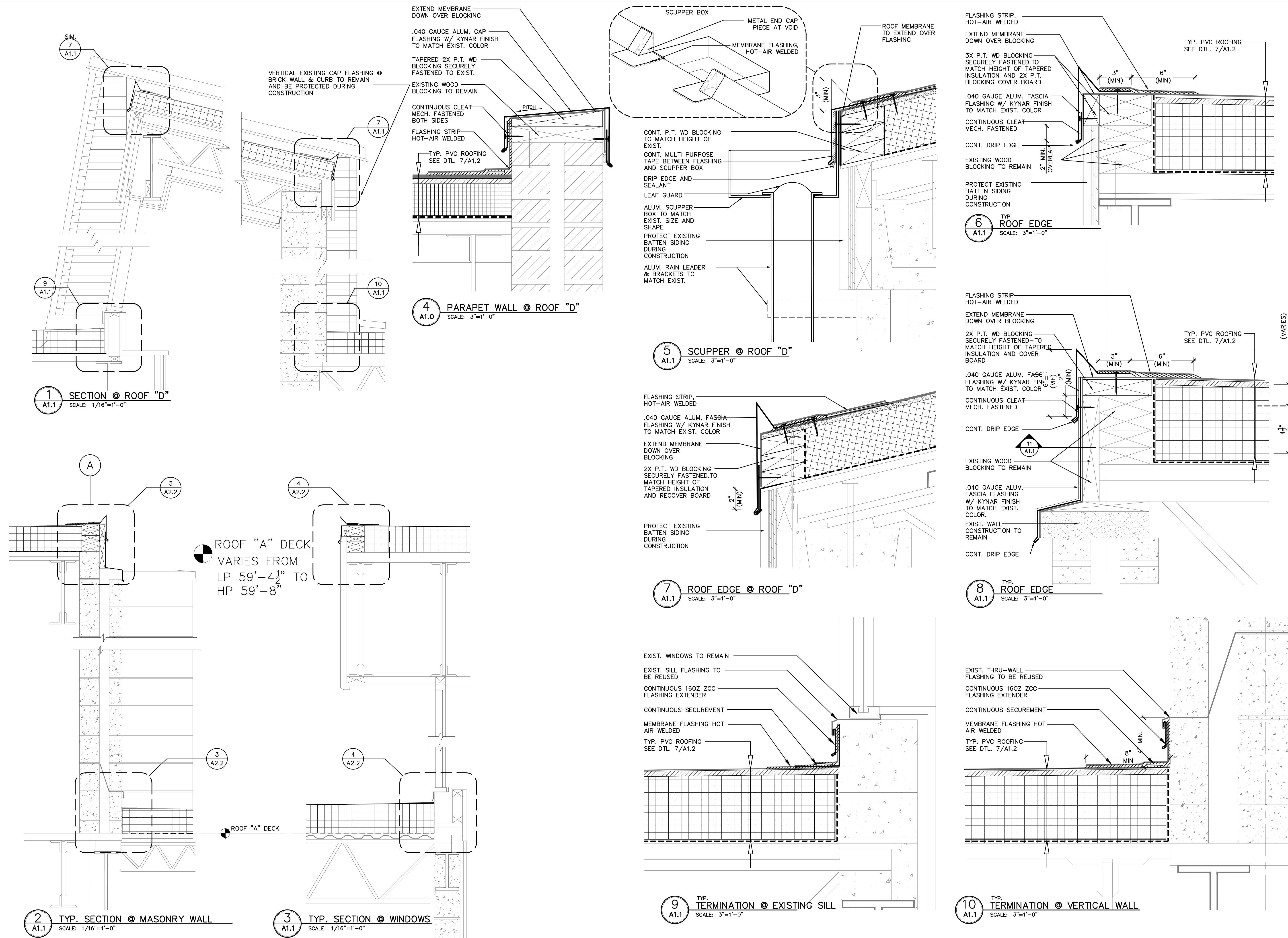
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DEMOLITION EXTERIOR
ELEVATION, WINDOW
ELEVATION SCHEDULE

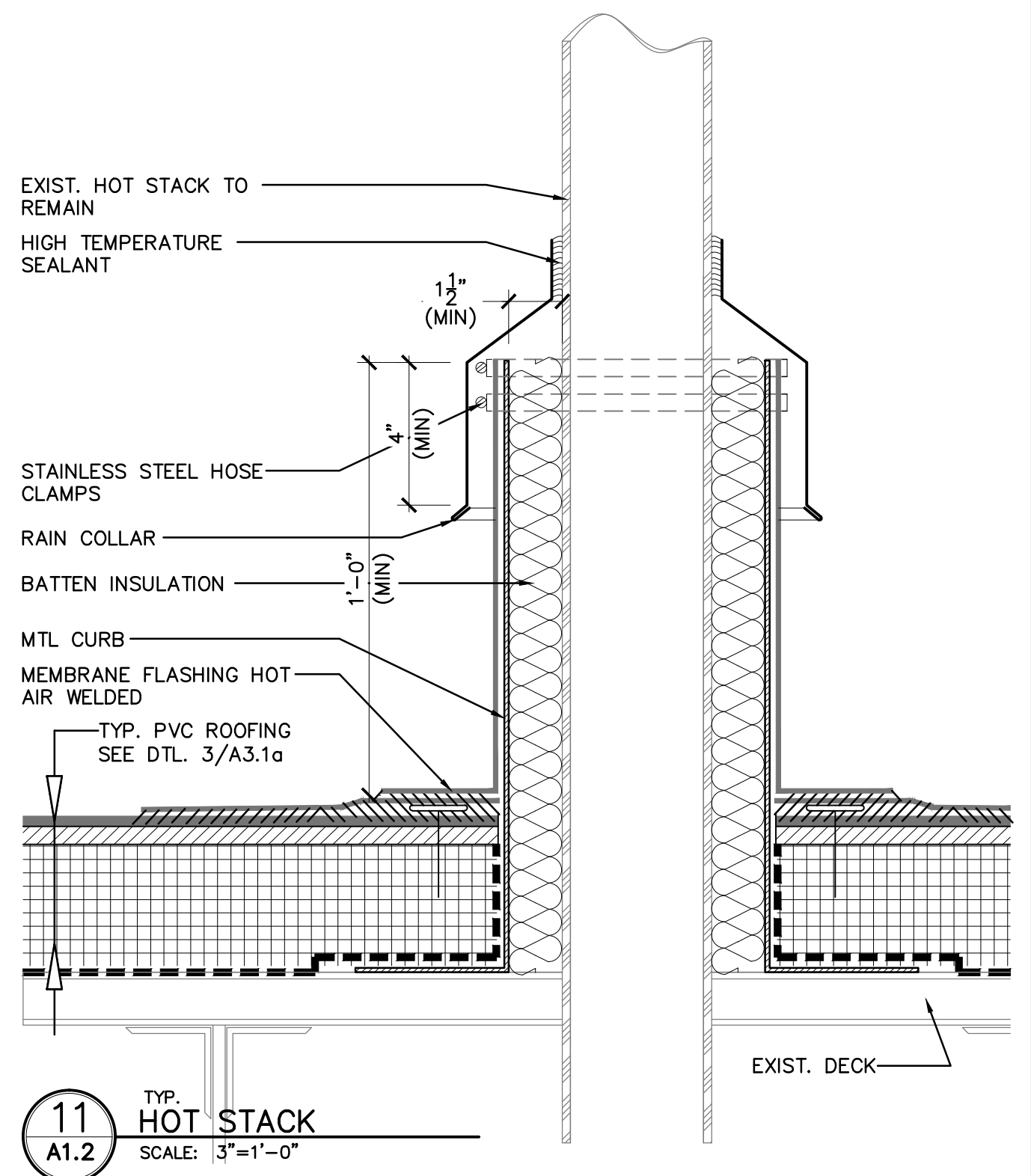
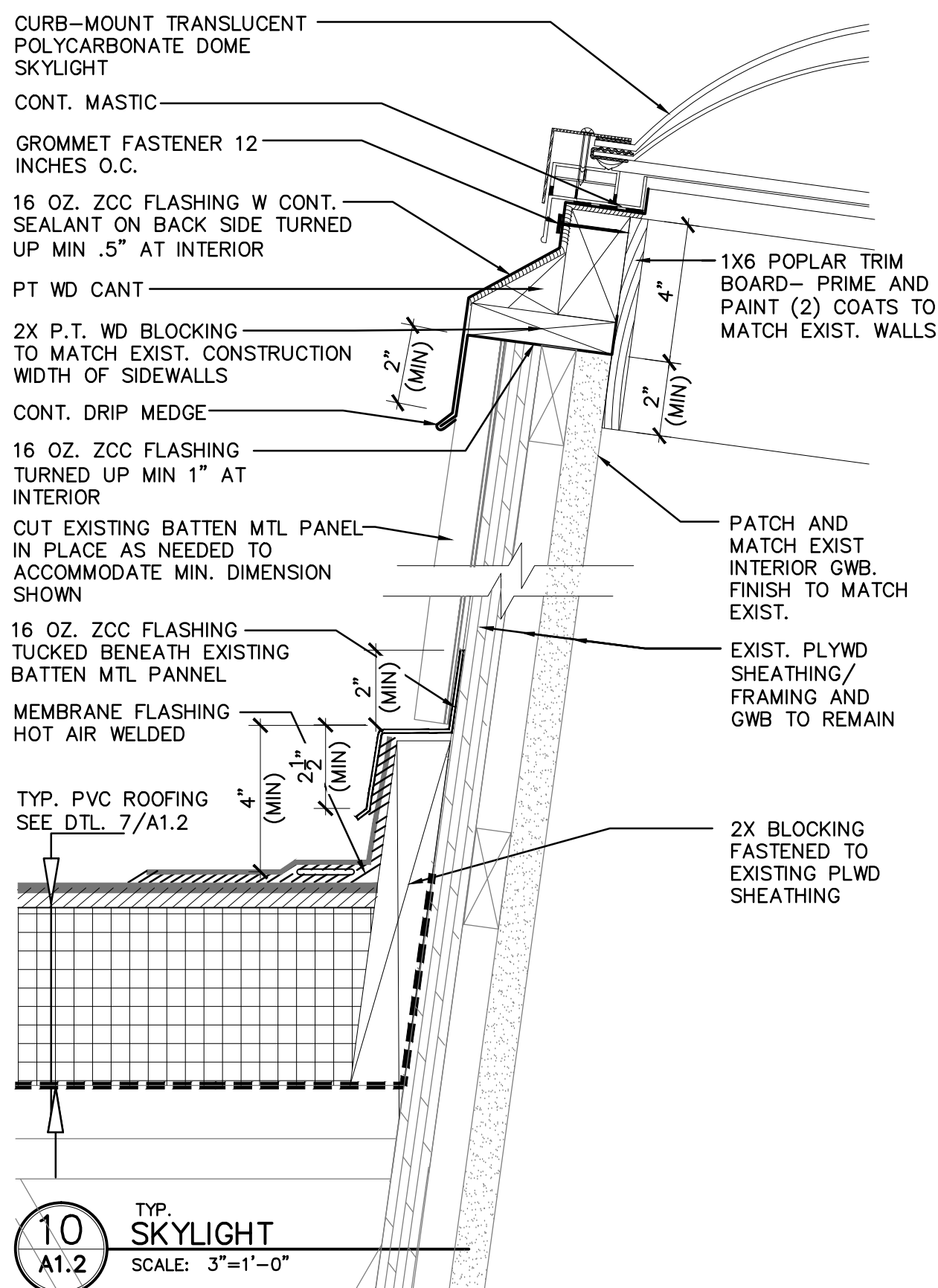
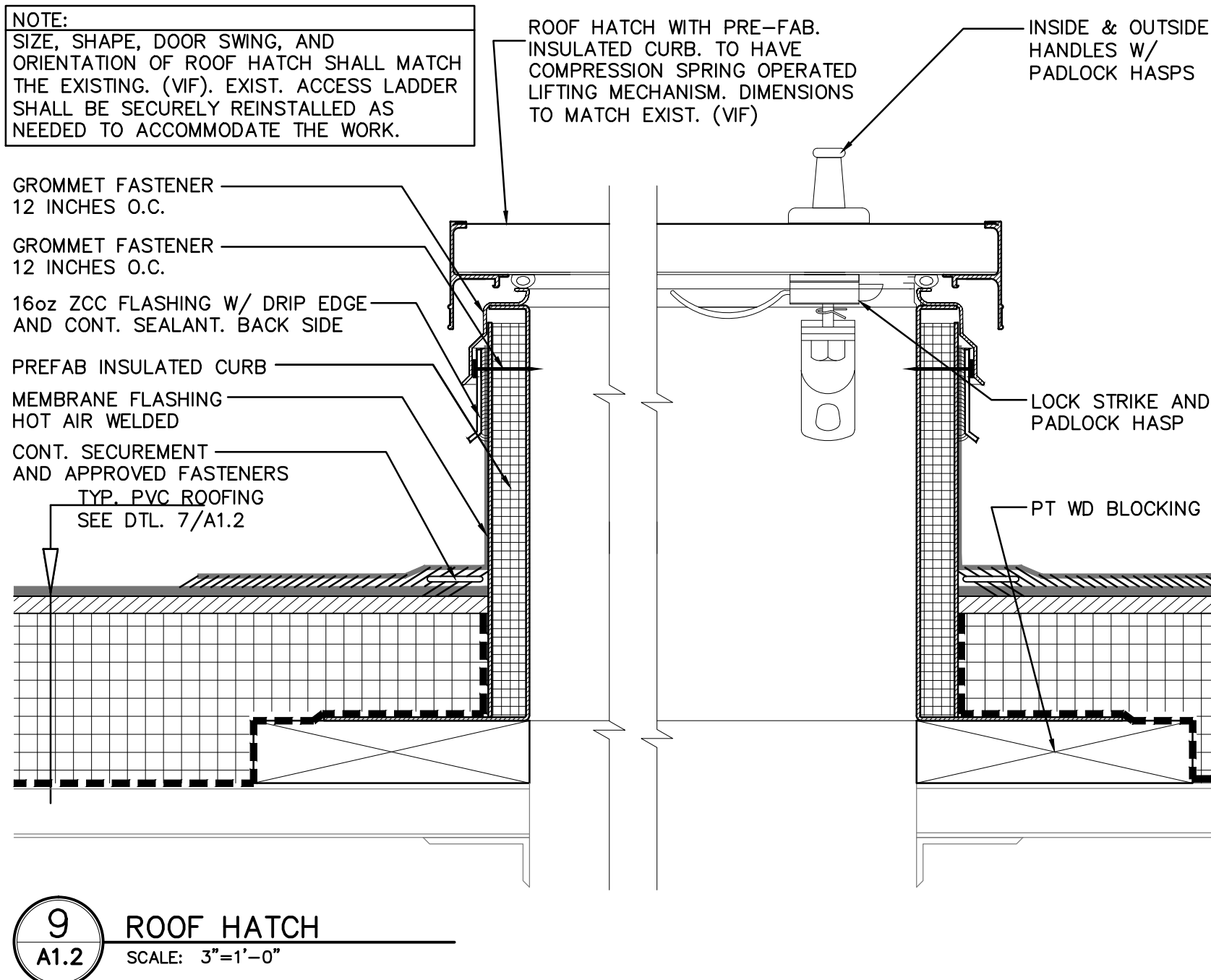
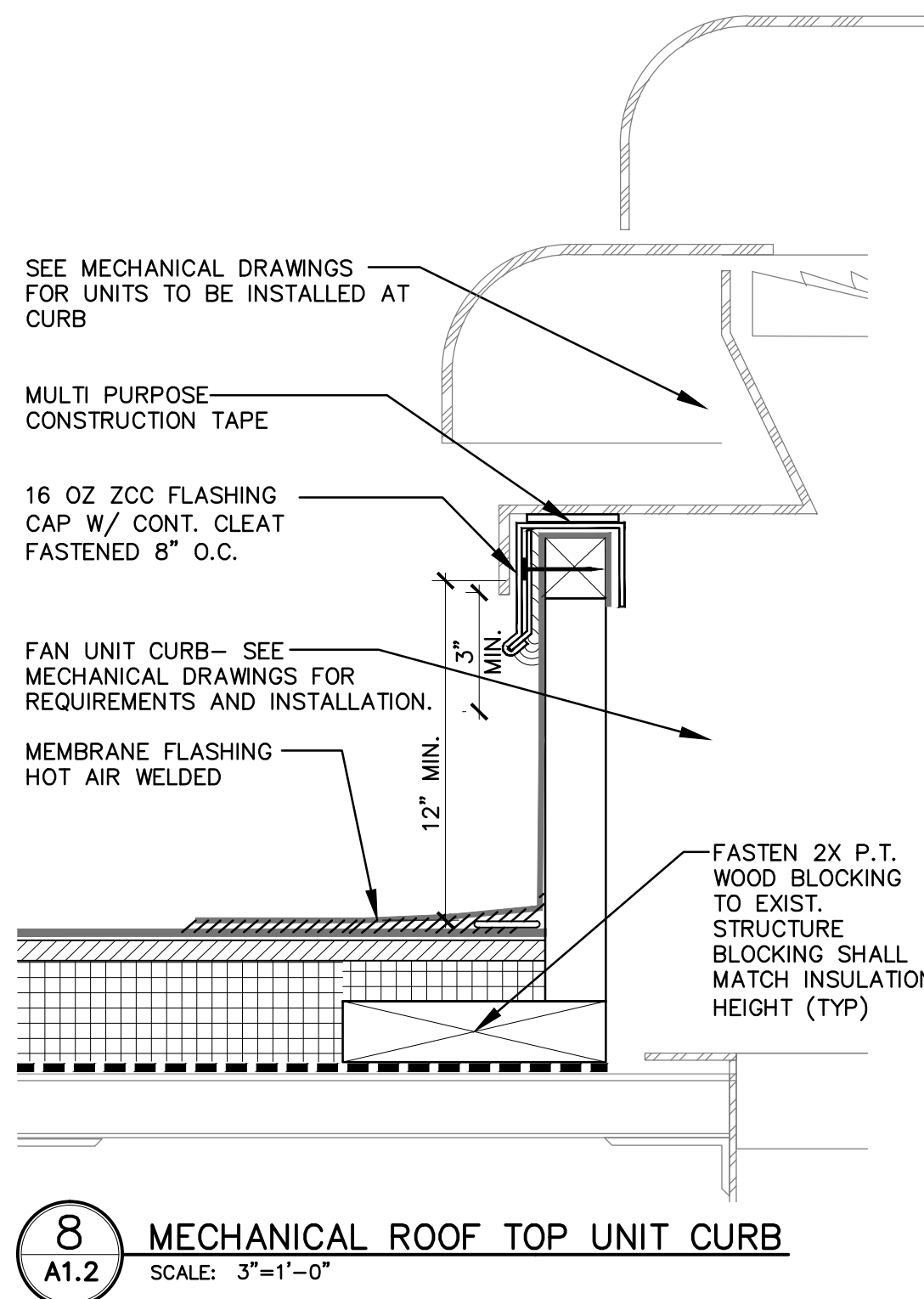
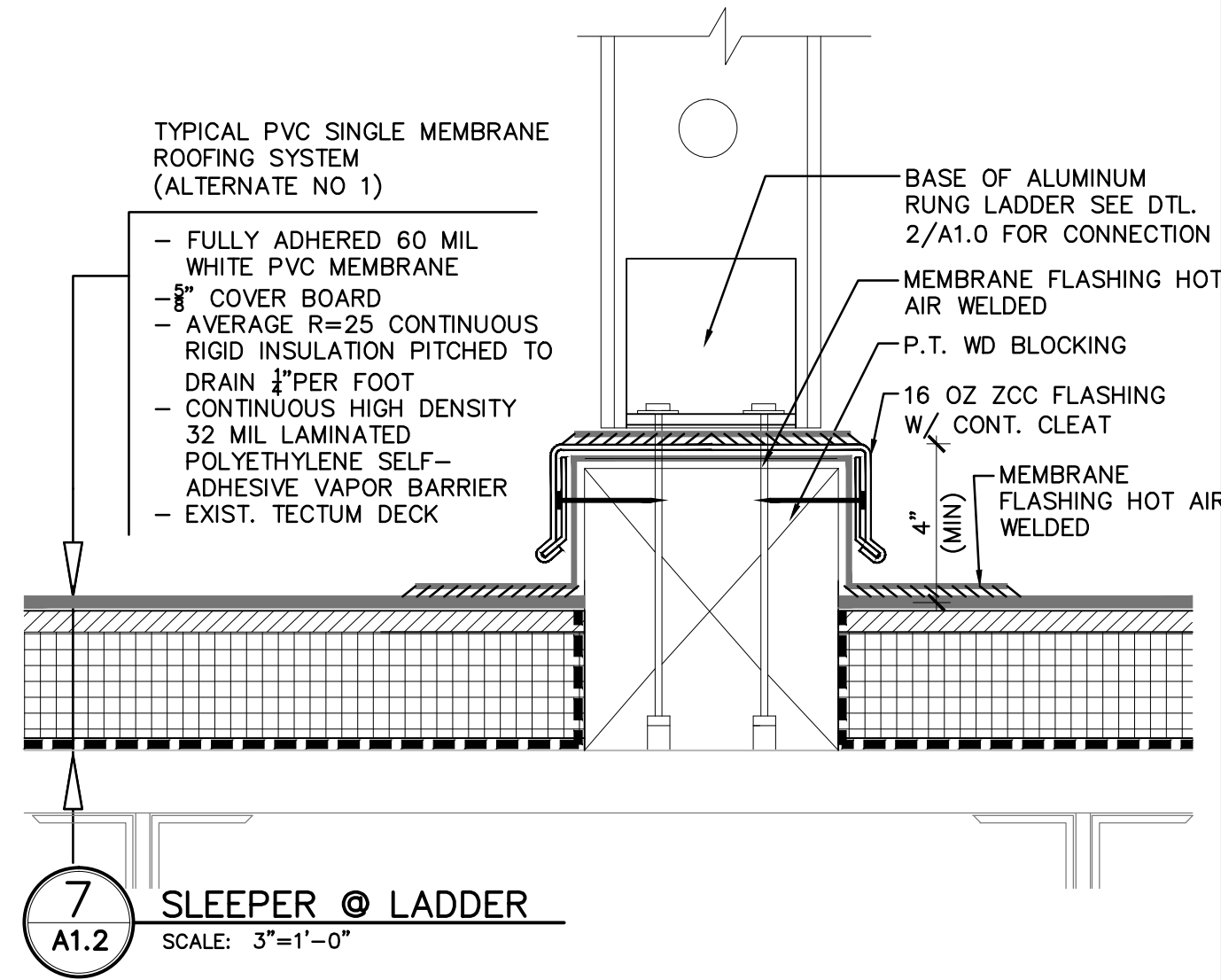
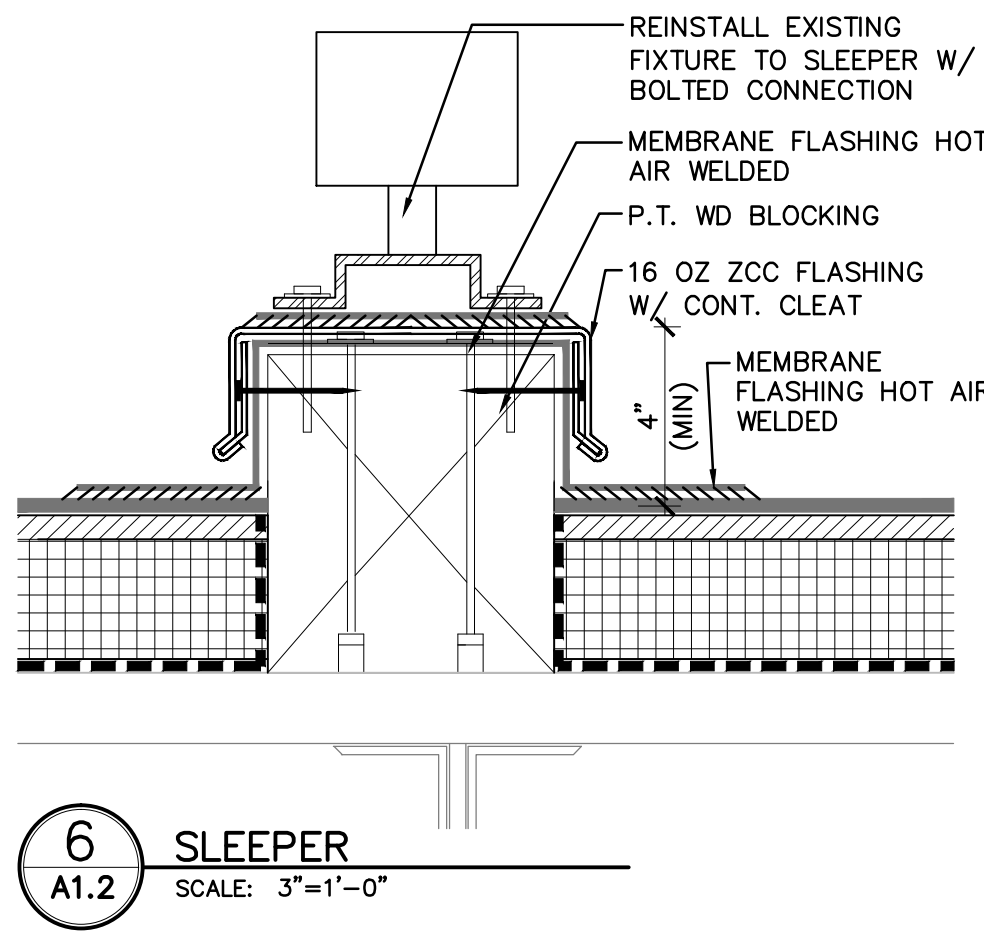
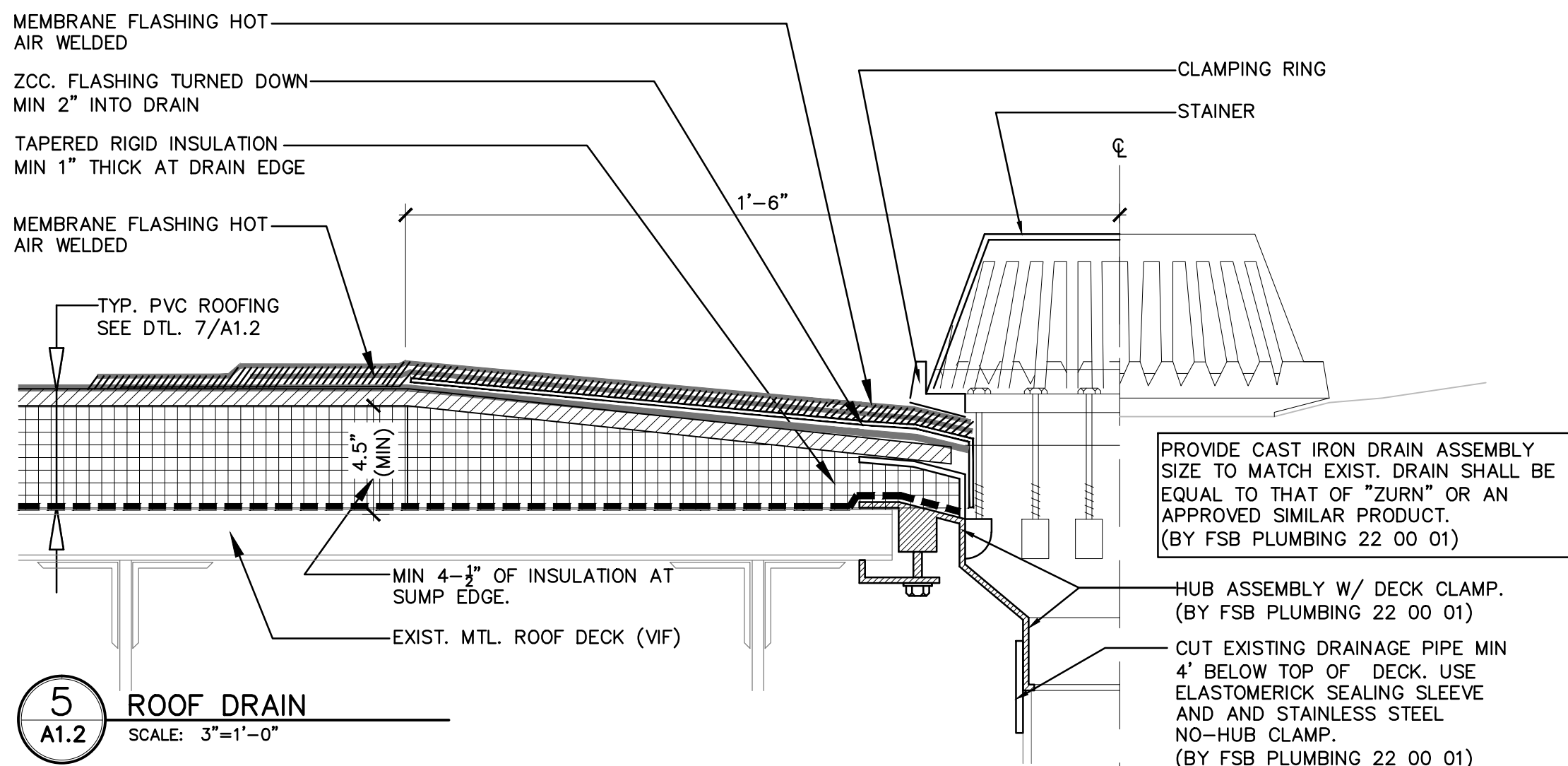
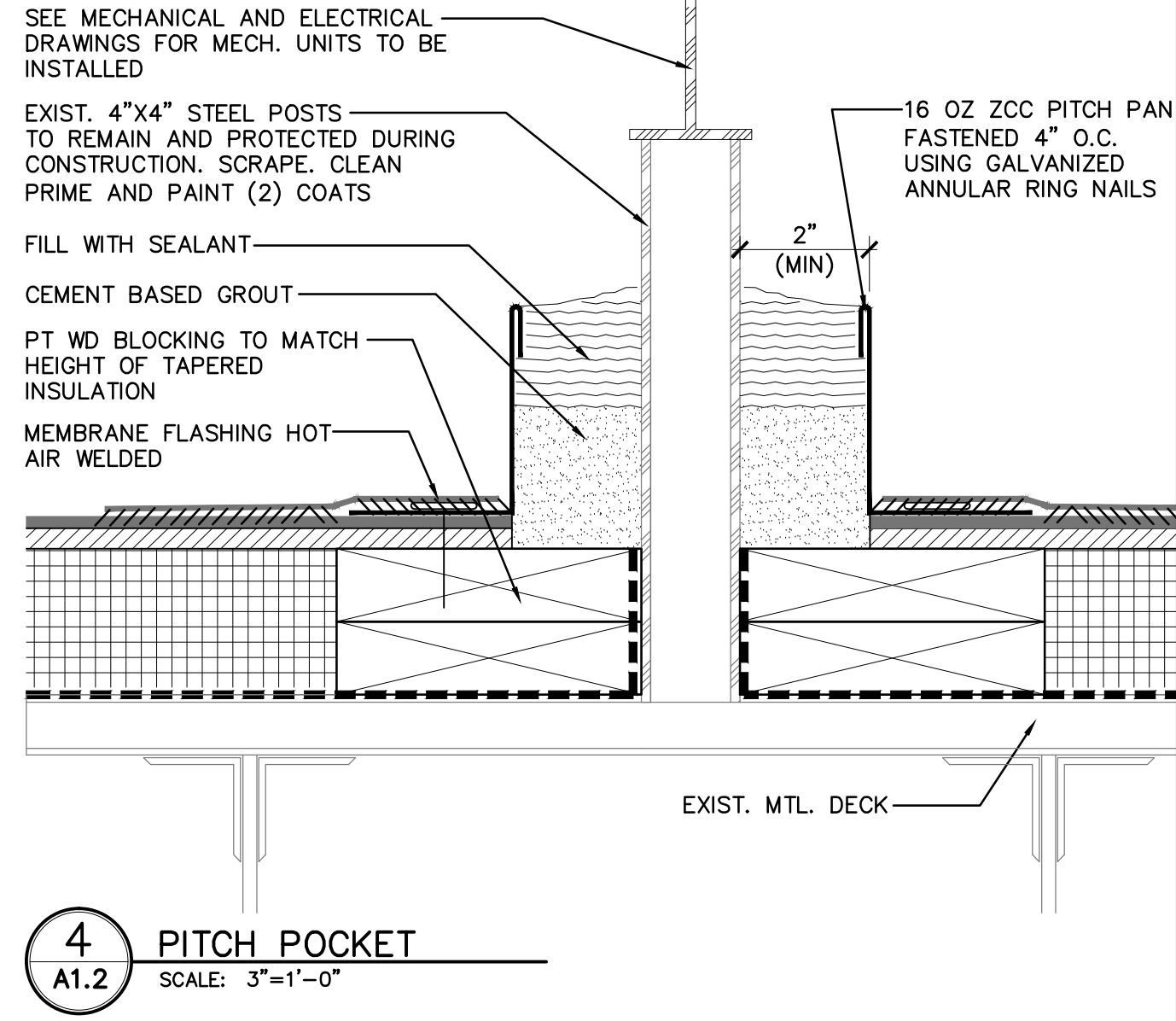
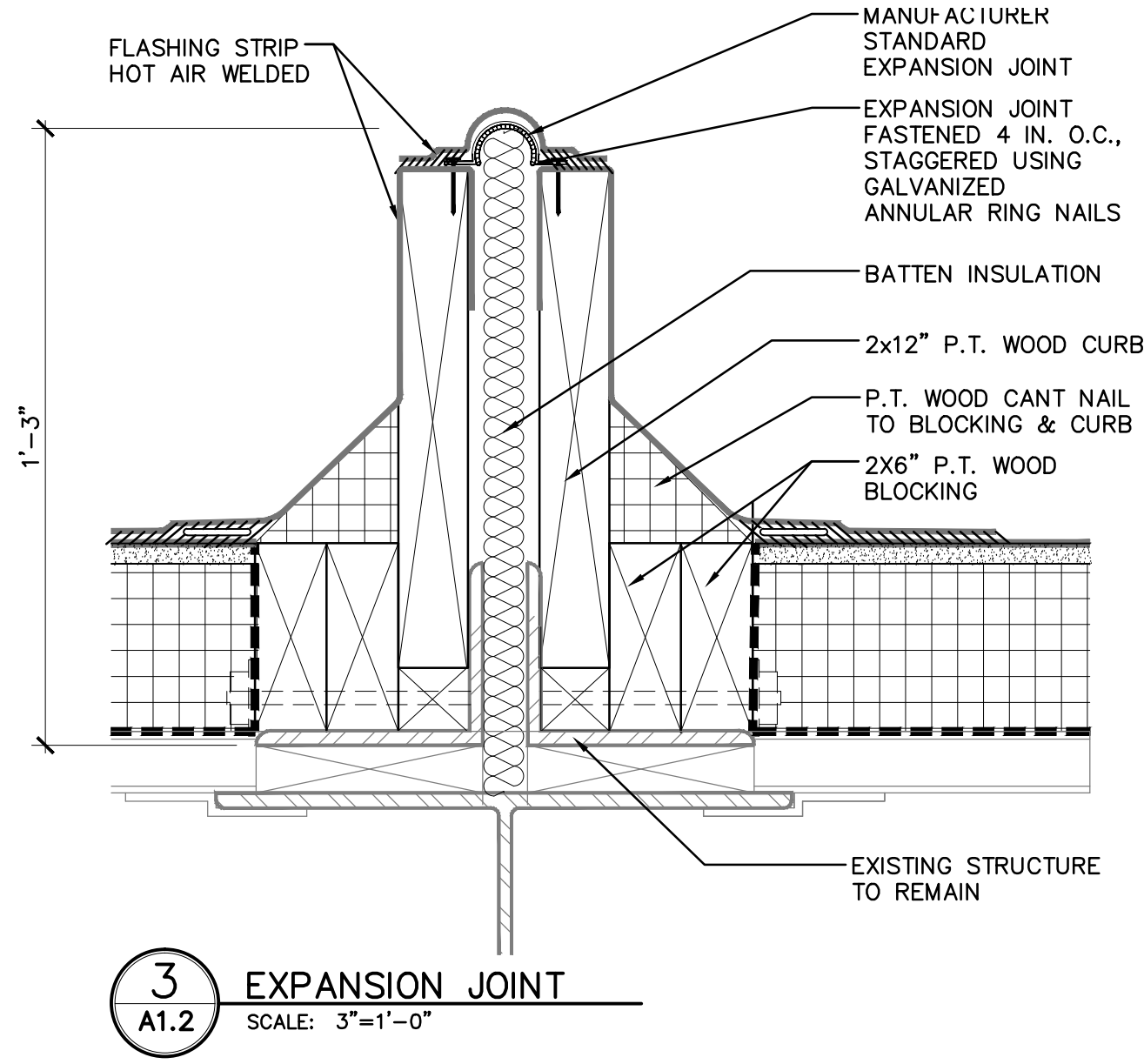
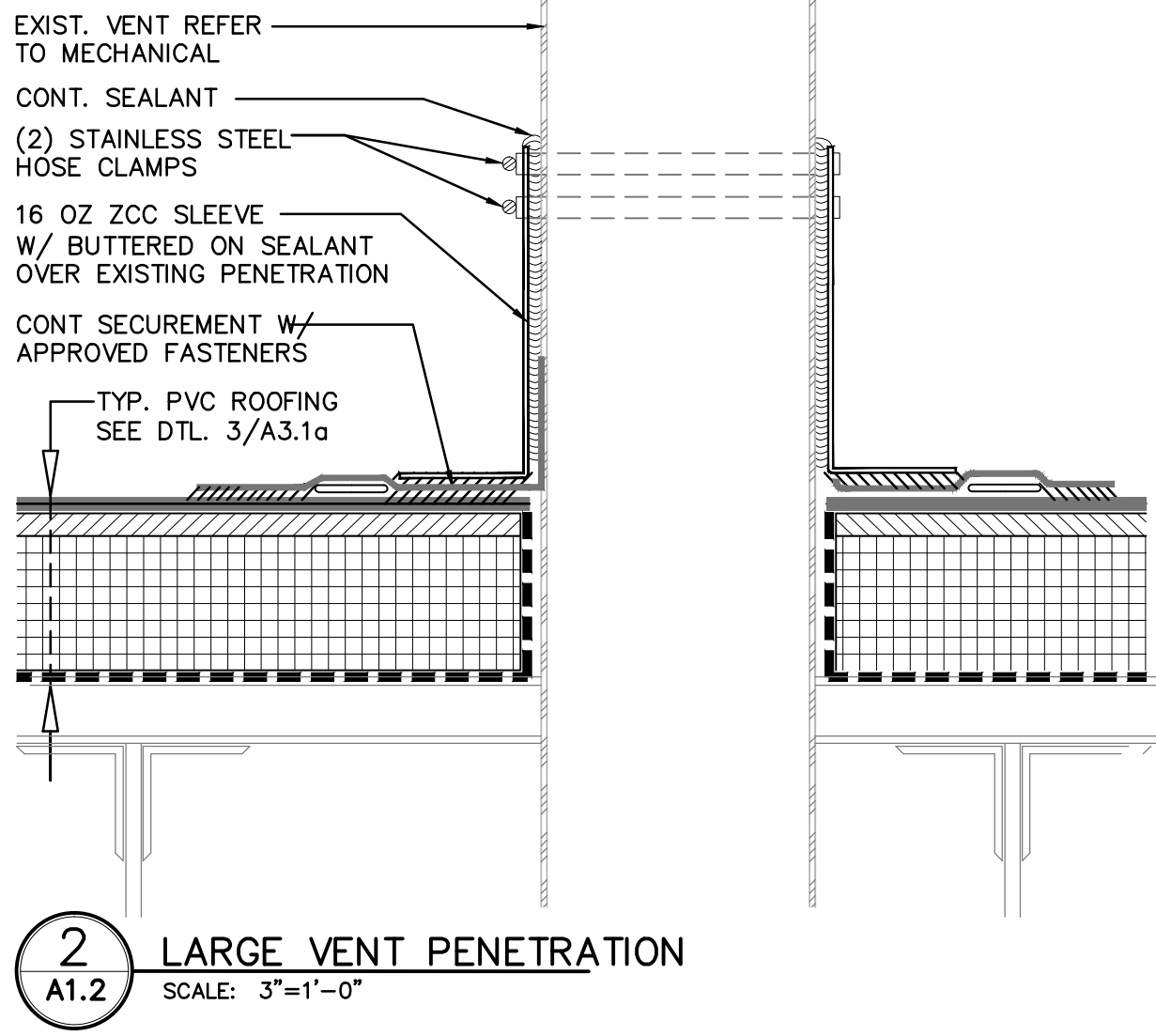
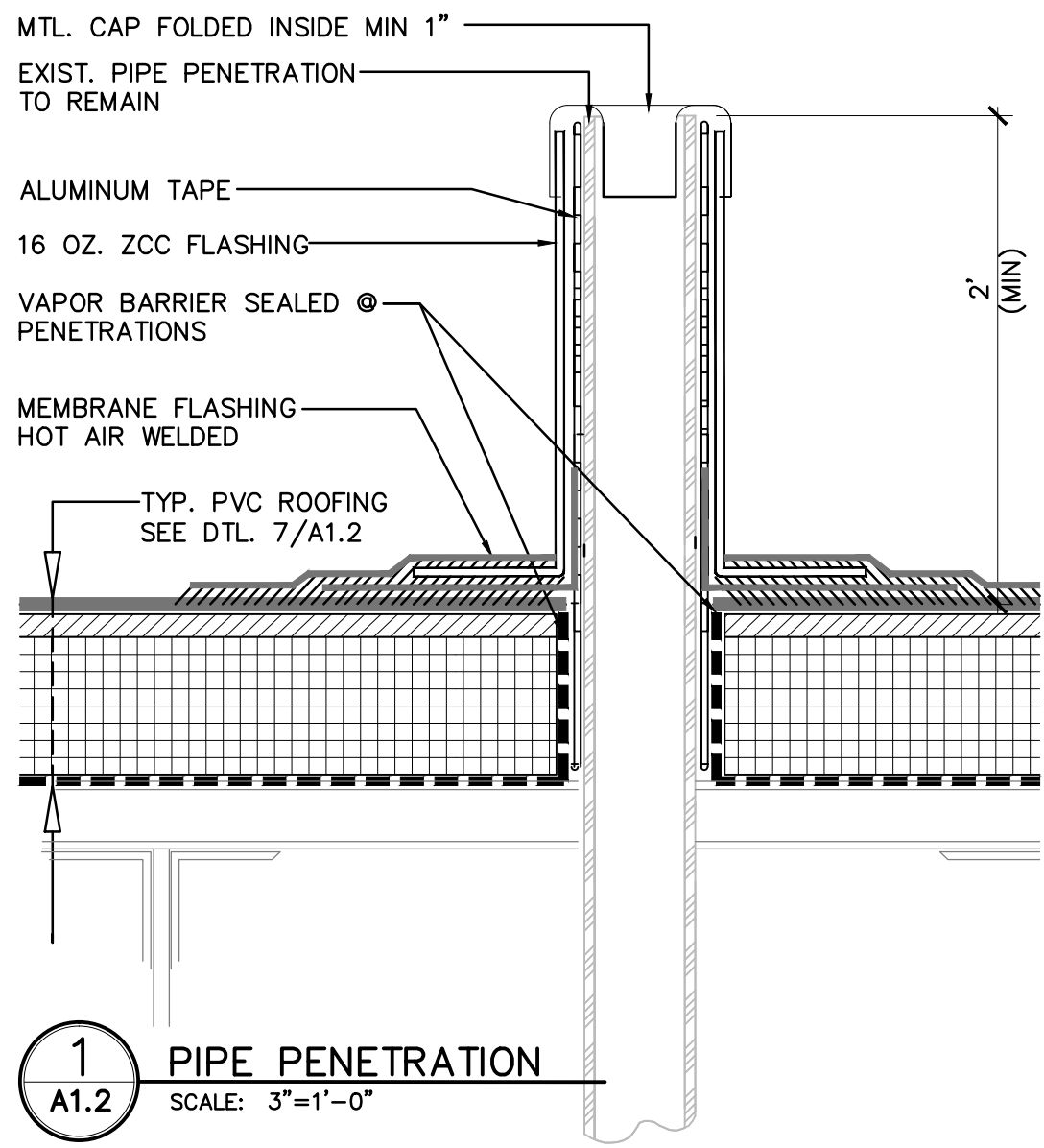
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PVC ROOF DETAILS

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SHEET NO.:

A1.2

SHEET: OF: